

NEW TWO STOREY DWELLING OVER BASEMENT +  
SWIMMING POOL & FRONT FENCE

07 SOLOMON CT, GREENACRE  
LOT 5 IN DP 200837



DA : ISSUE A

DRAWING REGISTER

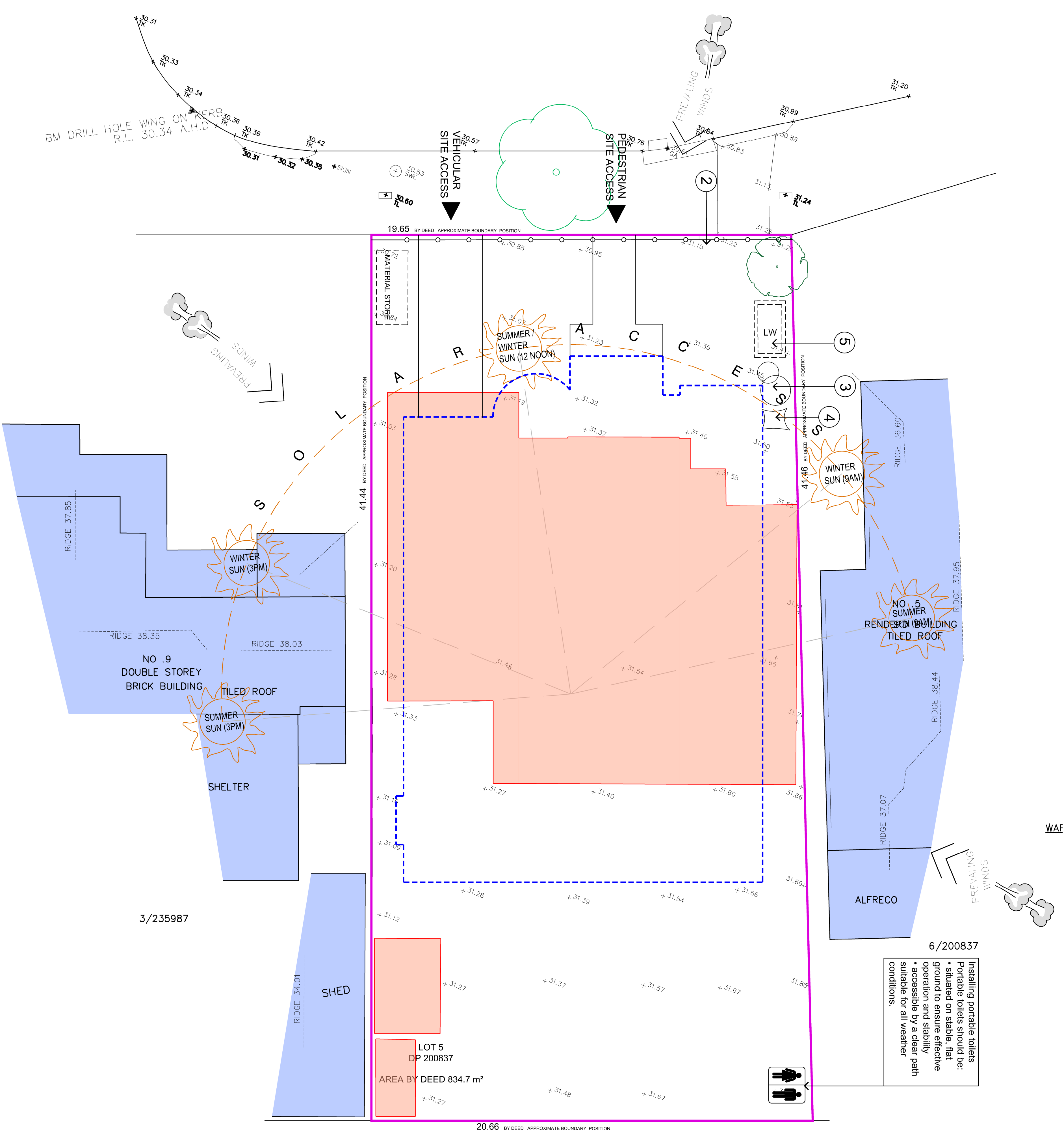
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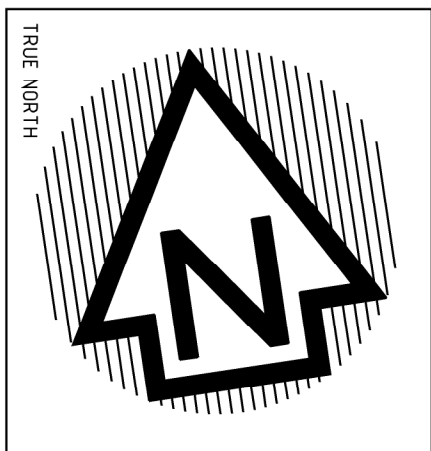


SITE MANAGEMENT/CONSTRUCTION MANAGEMENT/DEMOLITION PLAN

SCALE 1:100/200

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ISSUE	AMENDMENT
A	1
DATE	FEB 2022
INT	D.S.



Client	HABIB, FAWAZ
Address	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837
Project	PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE
Drawing Title	SITE MANAGEMENT/ CONSTRUCTION MANAGEMENT/ DEMOLITION PLAN

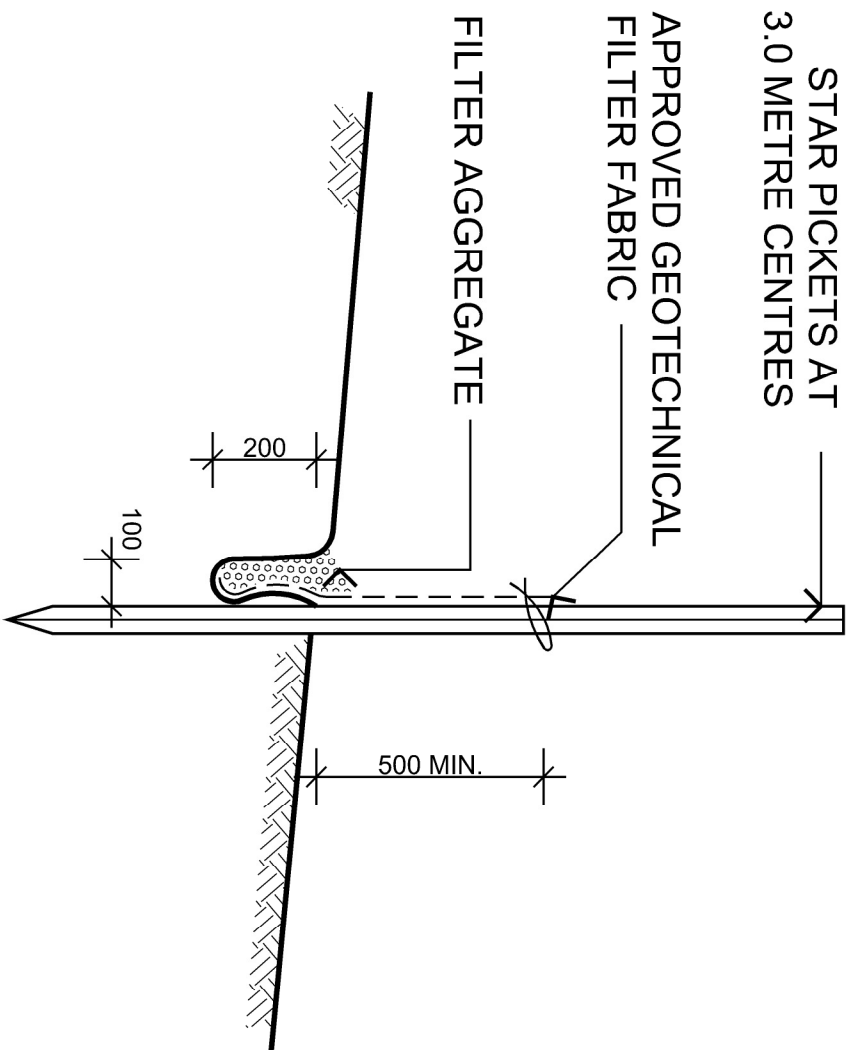
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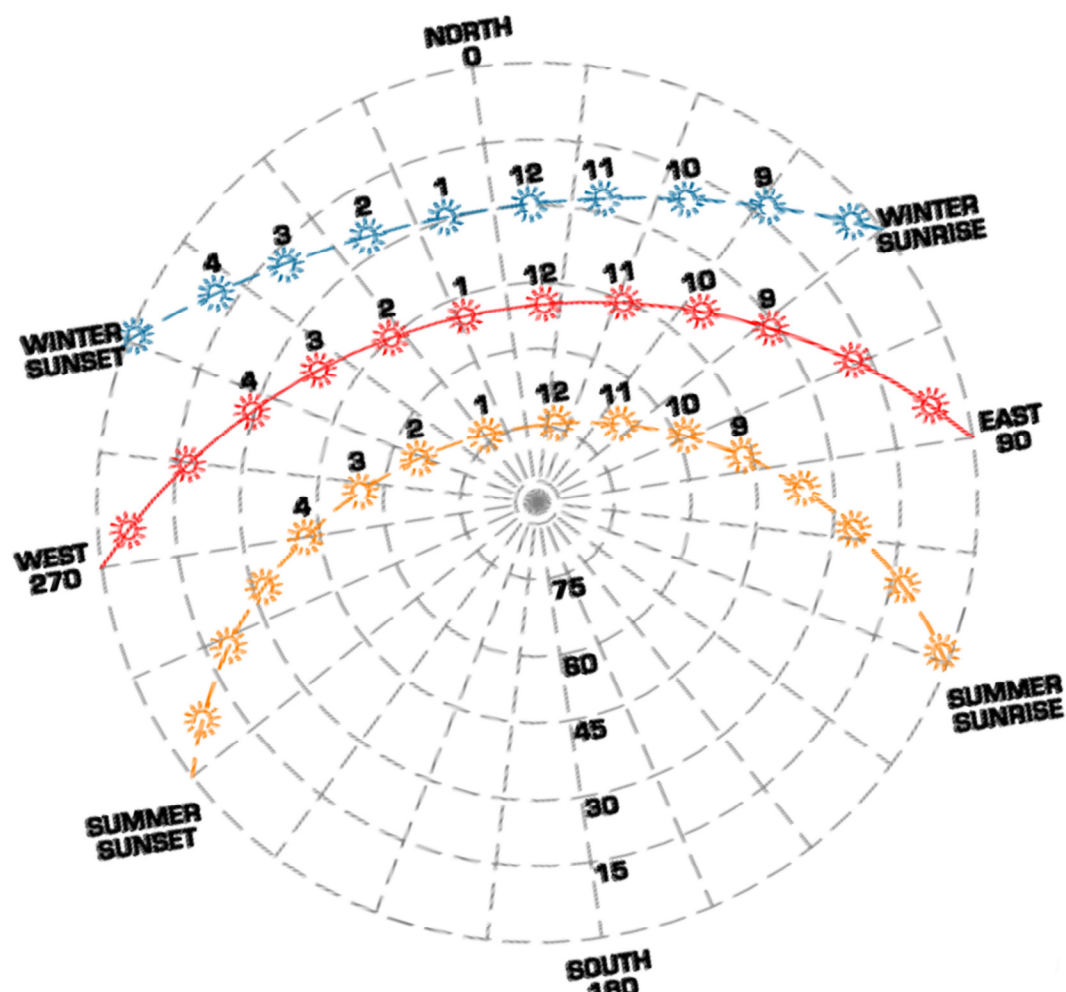
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Check	D.S.	Job Number	1388	Issue	A3
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Installing portable toilets  
Portable toilets should be:  
• situated on stable, flat  
ground to ensure effective  
operation and stability  
• accessible by a clear path  
suitable for all weather  
conditions.



SILT FENCE BARRIER DETAIL

NOT TO SCALE



- LINE OF EXISTING DWELLING / STRUCTURES TO BE DEMOLISHED
- LINE OF PROPOSED BUILDING ENVELOPE
- ADJOINING DWELLINGS
- SUBJECT SITE

SOIL & WATER MANAGEMENT NOTES

- WHEREVER POSSIBLE, EXISTING VEGETATION & GRASS COVER IS TO BE LEFT UNDISTURBED.
- REMOVAL OR DISTURBANCE OF VEGETATION & TOP SOIL SHALL BE CONFINED TO WITHIN 3m OF THE APPROVED BUILDING AREA.
- TEMPORARY SILT FENCE (AS SHOWN) TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, AND PARTICULAR AFTER STORM EVENTS.

ON-SITE CLEANING AND SERVICING (TEMPORARY TOILET)

THE BUILDER SHOULD ENSURE PORTABLE TOILETS ARE CHECKED DAILY AND CLEANED AS REQUIRED. IF THERE IS NO CONTRACTED CLEANING ARRANGEMENT, THE BUILDER SHOULD MAKE ALTERNATE ARRANGEMENTS TO HAVE THE TOILETS CLEANED AND MAINTAINED.

IN ADDITION TO CLEANING AS REQUIRED, TOILETS MUST ALSO BE SERVICED REGULARLY. ON-SITE SERVICING IS GENERALLY UNDERTAKEN BY THE HIRE COMPANY AND SHOULD INCLUDE BUT IS NOT LIMITED TO:

- CHECKING PUMPS AND COMPONENTS FOR EFFECTIVE OPERATION
- REPAIRING ANY DEFECTS
- PUMPING AND RINSING EMPTY SEWAGE STORAGE TANKS
- ADDING DEODORISER AND TREATMENT CHEMICALS TO THE SEWAGE STORAGE TANK
- REFILLING THE HOLDING TANK WITH WATER
- REPLACING TOILET PAPER
- REPLACING TOILET PAPER
- CLEANING AND DISINFECTING THE INTERNAL COMPARTMENT, INCLUDING FITTINGS SUCH AS PUMP AND DOOR HANDLES, THE FLOOR, SEAT AND BOWL.

CONSTRUCTION MANAGEMENT NOTES

- NO VEGETATION OR GRASS COVER IS TO BE REMOVED EXCEPT WITHIN AREAS OF NEW CONSTRUCTION.
- INSTALL HAY BALES OR SEDIMENT CONTROL FENCING AS NECESSARY TO ENSURE THAT SILT FROM ANY DISTURBED AREAS IS TRAPPED ON-SITE.
- PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORK ON THE FOOTPATH AREA TO PROVIDE SAFE ALTERNATIVE ACCESS FOR PEDESTRIANS.
- ALL WASTE MATERIALS ARE TO BE REMOVED FROM SITE OR STOCKPILED WITHIN THE SITE PRIOR TO REMOVAL.
- ALL CONSTRUCTION MATERIALS & SITE SHEDS ARE TO BE KEPT WITHIN THE SITE AT ALL TIMES.

SEDIMENT & EROSION CONTROL LEGEND	
① CATCH DRAINS AND PERIMETER BANKS Allow for diversion of up slope stormwater around the work site and other disturbed surfaces.	
② SEDIMENT BARRIER FENCE Refer to Detail	
③ SAND AND SOIL STOCKPILES Place stockpiles wholly on the construction site and behind a sediment barrier. Soil or cement should be covered at the end of each day if excessive wind or rain is likely	
④ CONCRETE WASTE AND WASHING Place stockpiles wholly on the construction site and behind a sediment barrier. Soil or cement should be covered at the end of each day if excessive wind or rain is likely	
⑤ LITTER AND WASTE CONTROL All hard waste and litter must be stored on site to prevent any materials from entering the stormwater system and adjacent areas by wind or water action	
⑥ SINGLE GRAVELLED ENTRY / EXIT Restrict vehicle access to one entry / exit point, adding gravel to the access point to allow all weather entry / exit, to reduce the amount of soil carried off the site by vehicles, and to provide a permanent base for the driveway.	



KEY PROPOSAL STATISTICS - NEW DWELLING HOME

SITE AREA: FRONTAGE: NUMBER OF DWELLINGS:	835.25m <sup>2</sup> 19.65m 1
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\*ALLOWABLE FSR

4.4C. Exceptions to floor space ratio (Zone R2)  
Lot area (m<sup>2</sup>) Floor space ratio  
> 728.3m<sup>2</sup> 0.50:1

Maximum FSR = 417.62m<sup>2</sup>

\*GROSS FLOOR AREA

PROPOSED BASEMENT LEVEL GROUND FLOOR AREA: FIRST FLOOR AREA:	1.8m <sup>2</sup> 220.5m <sup>2</sup> 193.0m <sup>2</sup>
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PROPOSED FSR :

415.3m<sup>2</sup> (0.497:1)

LANDSCAPING FRONT SETBACK

REQUIRED  
PROPOSED

45% (63.5m<sup>2</sup>)  
61.5% (86.50m<sup>2</sup>)

PRIVATE OPEN SPACE  
REQUIRED  
PROPOSED

80m<sup>2</sup>  
325.23m<sup>2</sup>

gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes:
- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement.
- (f) storage, and
- (g) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (h) any space used for the loading or unloading of goods (including access to it), and
- (i) terraces and balconies with outer walls less than 1.4 metres high, and
- (j) voids above a floor at the level of a storey or storey above.

MATTHEWS Speers Summary:

Floor slabs:

- Concrete
- Bulk insulation R 1.5 under slab where open

Exterior walls:

- Cavity brick with "Kingspan Kooltherm K8 25mm" (R1.4), or similar in cavity. Or, wall system (6883)g total R-value (R1.8)

All external wall materials modelled medium and light colours as per the finishes schedule

Glazing:

- Single glazed clear High Solar Gain Low E
- Type A (U-Value: 5.4, SHGC: 0.49).
- Type B (U-Value: 5.4, SHGC: 0.58).
- U-Value & SHGC are combined glass and frame figures.

Ceiling:

- R 1.5 bulk insulation to ceilings of Basement
- R 3.5 - ceiling insulation to rest of ceilings
- Modelled with sealed, LED downlights & wet area exhaust fans.

Roof:

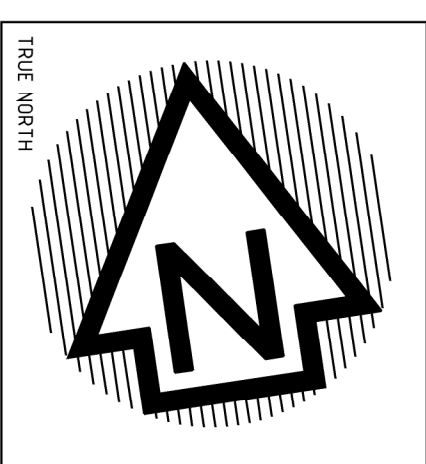
- Metal roof foil no gap reflective side down, anti-glare up, colour medium as per finishes schedule
- waterproof membrane above ground floor to balcony

Please refer to MATTHEWS individual certificates for further details.



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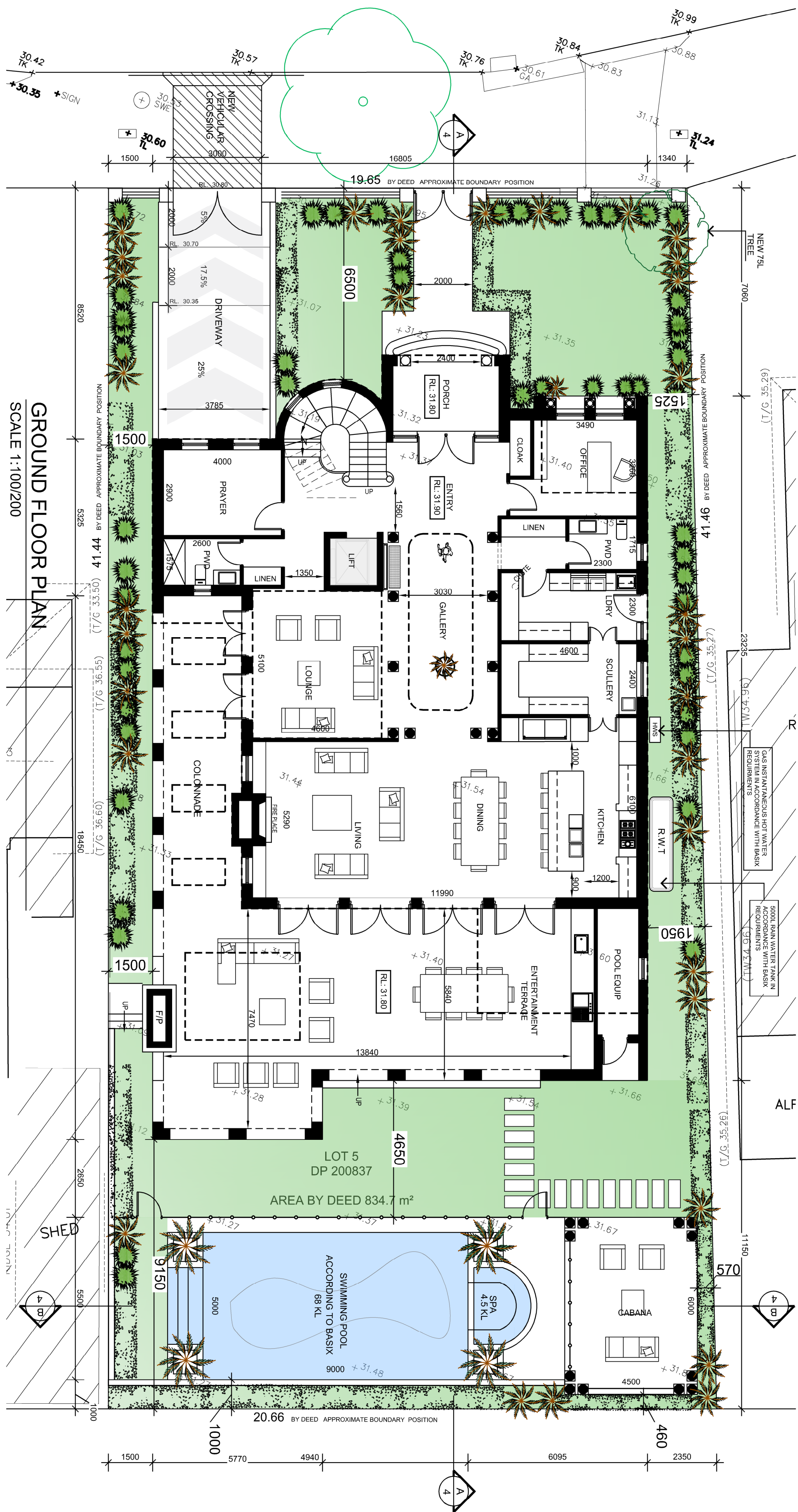
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13888	13888



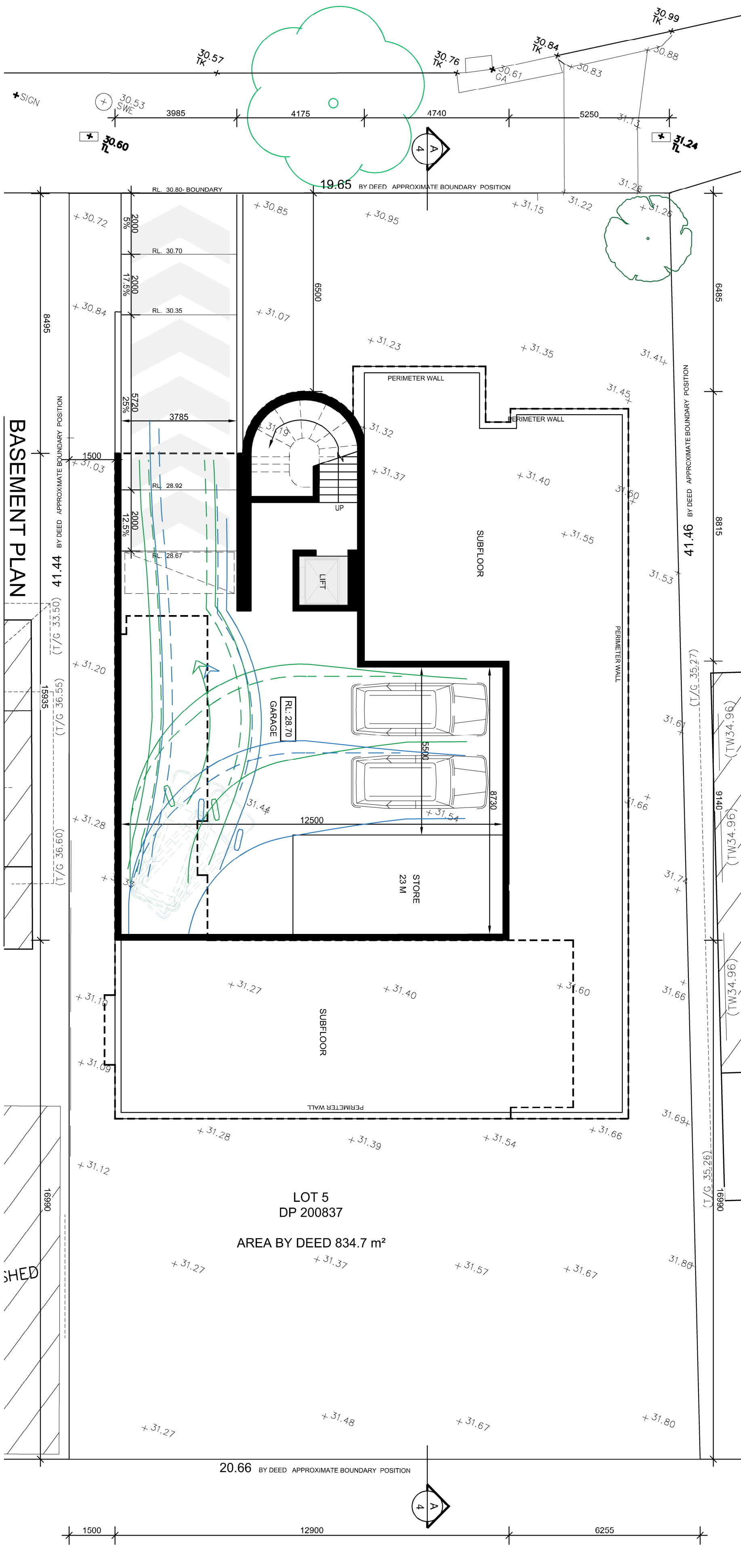
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HABIB, FAWAZ	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837
Project:	Drawing Title:
PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	GROUND FLOOR PLAN BASEMENT PLAN



Drawn:	SD	Date:	FEB 2022	Scale:	1:100
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				Sheet:	01



GROUND FLOOR PLAN  
SCALE 1:100/200



BASEMENT PLAN  
SCALE 1:100/200



BASIC COMMITMENTS

WATER COMMITMENTS

1. The applicant must plant indigenous or low water use species of vegetation throughout 250 square meter of the site.
2. The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
3. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.
4. The applicant must install basin taps with a minimum rating of 4 star in the kitchen in the development.
5. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
6. Alternative water
7. Rainwater tank
  - The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
  - The applicant must configure the rainwater tank to collect rain runoff from at least 355 square metres of the roof area of the development (excluding the area of the roof which drains to any storm water tank or private dam).
  - The applicant must connect the rainwater tank to:
    - all toilet in the developments,
    - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

THERMAL COMFORT COMMITMENTS

- |  | Area                      |
|--|---------------------------|
| 1. Floor and wall construction               | 37.0 square metres        |
| 2. floor - suspended floor/enclosed subfloor | 102.0 square metres       |
| 3. floor - suspended floor above garage      | All or part of floor area |

ENERGY COMMITMENTS

1. Hot water
  - The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.
2. Cooling system
  - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: n/a
  - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: n/a
3. Heating system
  - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: n/a
  - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: n/a
4. Ventilation
  - The applicant must install the following exhaust systems in the development:
    - At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off
    - Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off
    - Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off
5. Artificial lighting
  - The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
    - at least 2 of the bedrooms / study, dedicated
    - the kitchen, dedicated
    - all bedrooms/toilets, dedicated
    - the laundry, dedicated
    - all hallways, dedicated
6. Natural lighting
  - The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
  - The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.
7. Swimming pool
  - The development must not incorporate any heating system for the swimming pool
  - The applicant must install a timer for the swimming pool pump in the development
8. Outdoor spa
  - The development must not incorporate any heating system for the spa
  - The applicant must install a timer for the spa pump in the development
9. Alternative energy
  - The applicant must install a photovoltaic system with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
10. Other
  - The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
  - The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.



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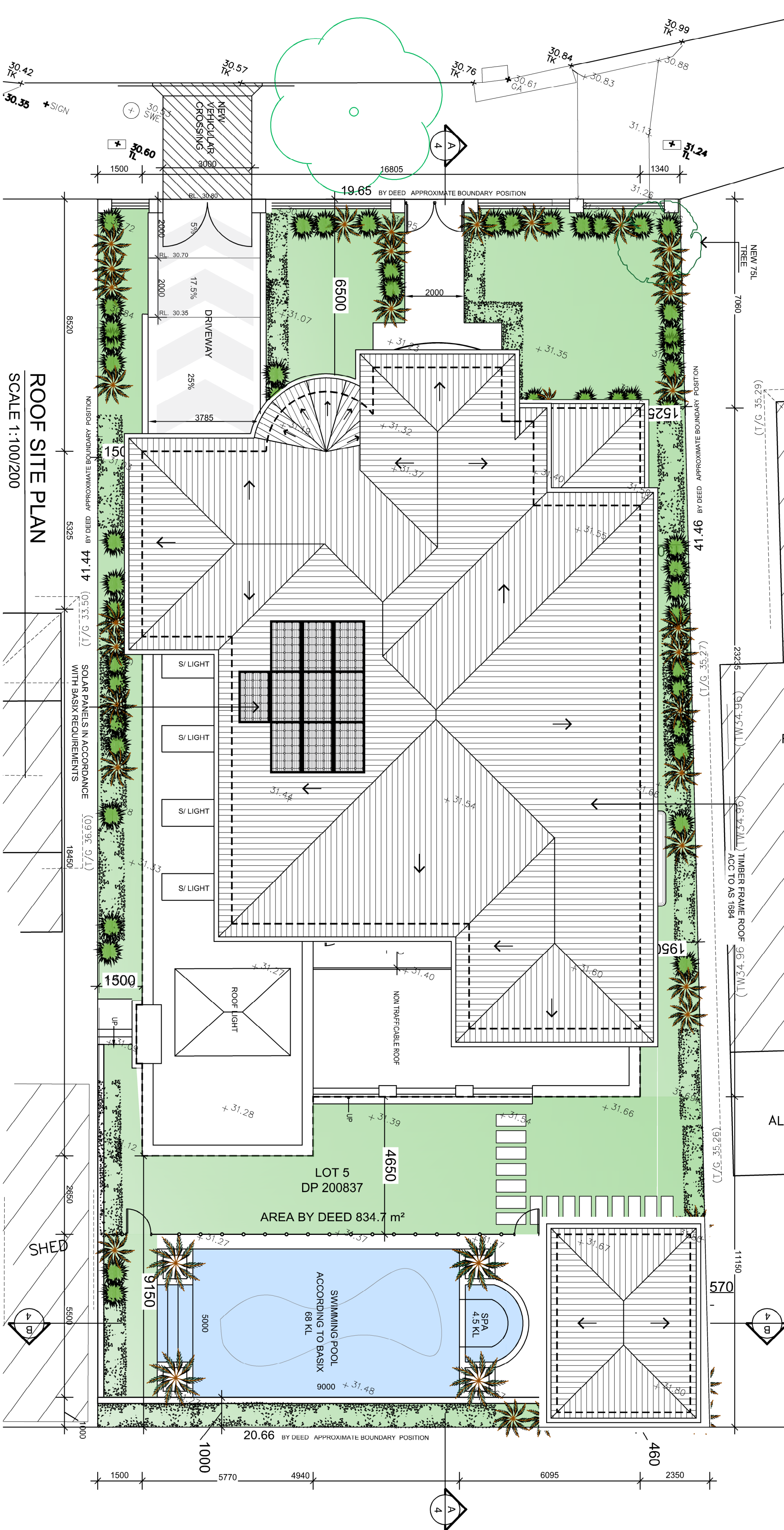
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ISSUE	AMENDMENT	DATE	INT.
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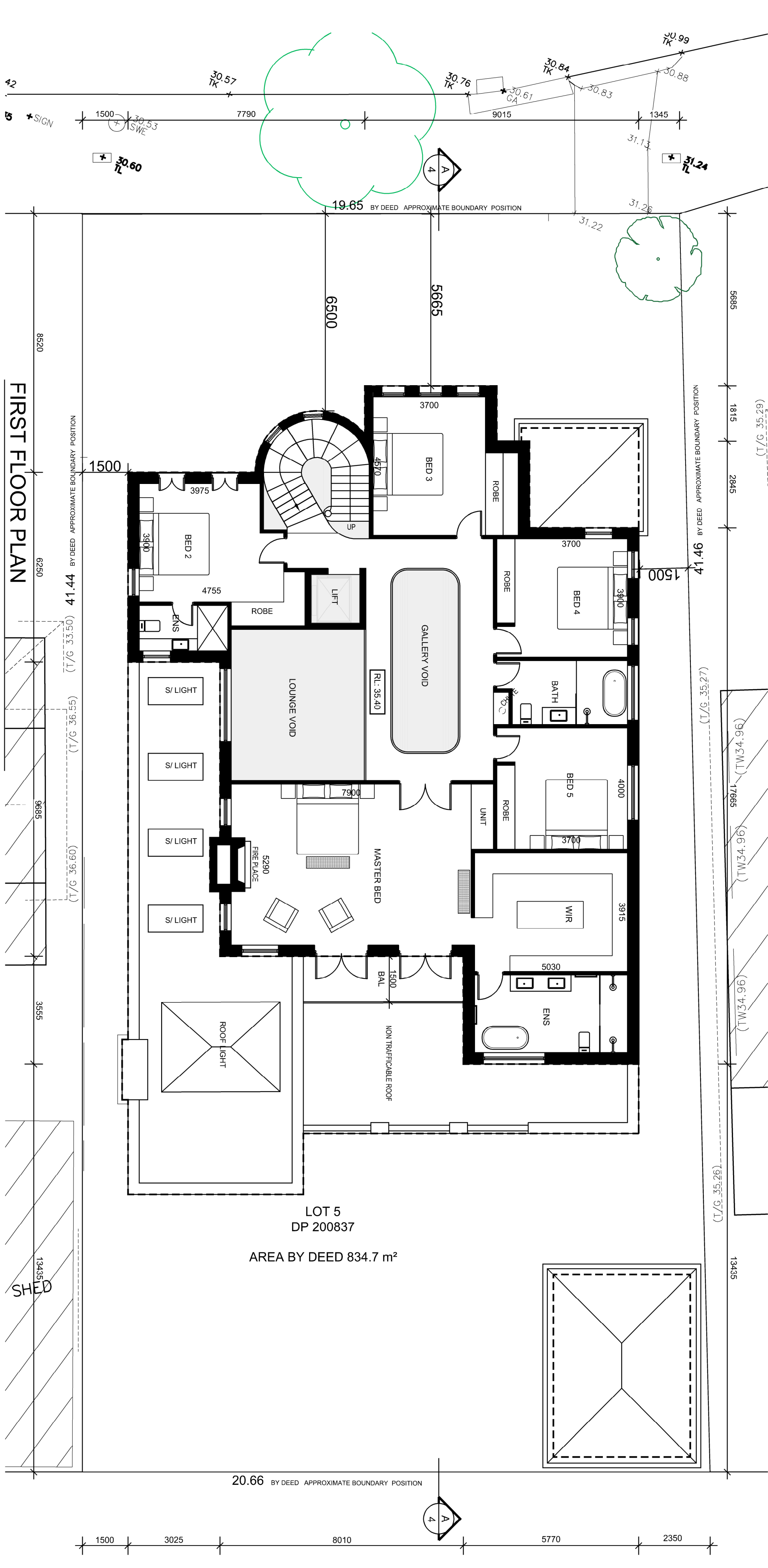
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HABIB, FAWAZ	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837

Project	Drawing Title
PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	FIRST FLOOR PLAN ROOF SITE PLAN BASIX



ROOF SITE PLAN  
SCALE 1:100/200



FIRST FLOOR PLAN  
SCALE 1:100/200

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Drawn	SD	Date	Job Number	Sheet
Cred	D.S.	FEB 2022	1388	02

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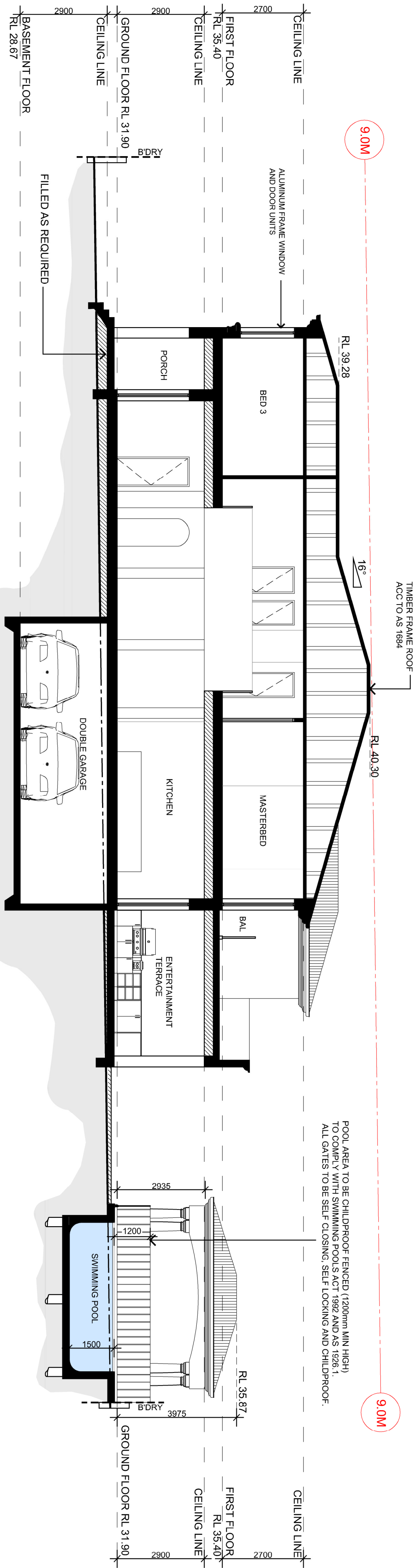
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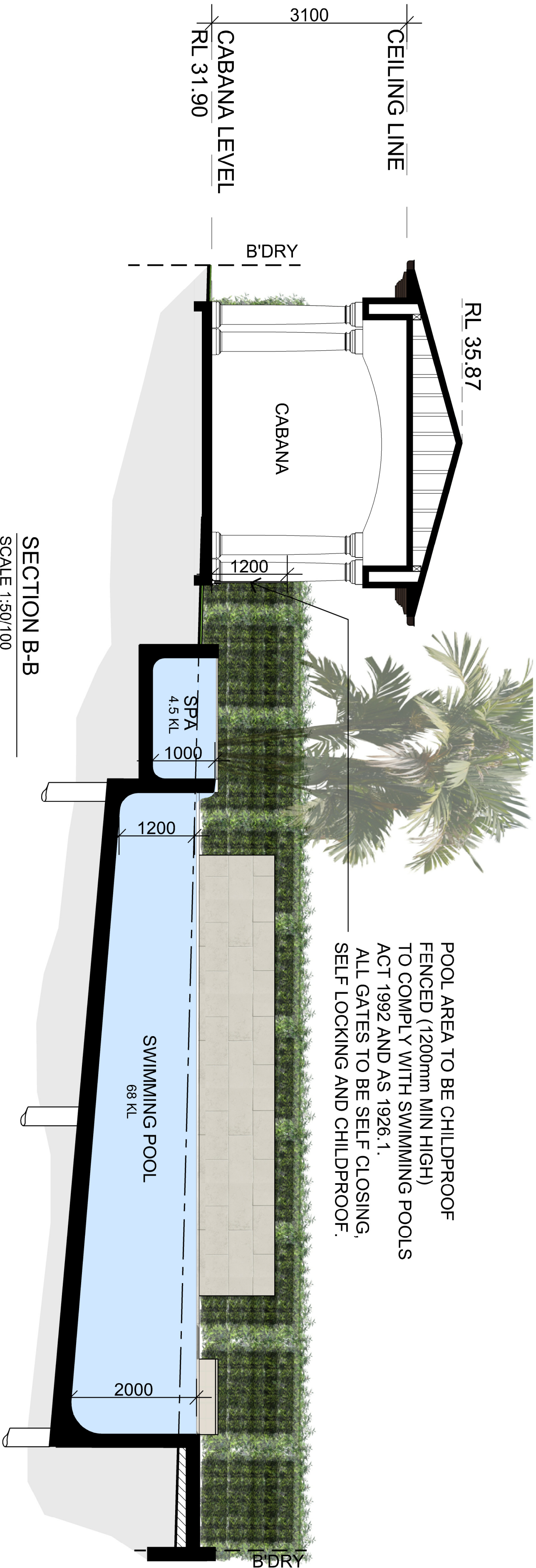






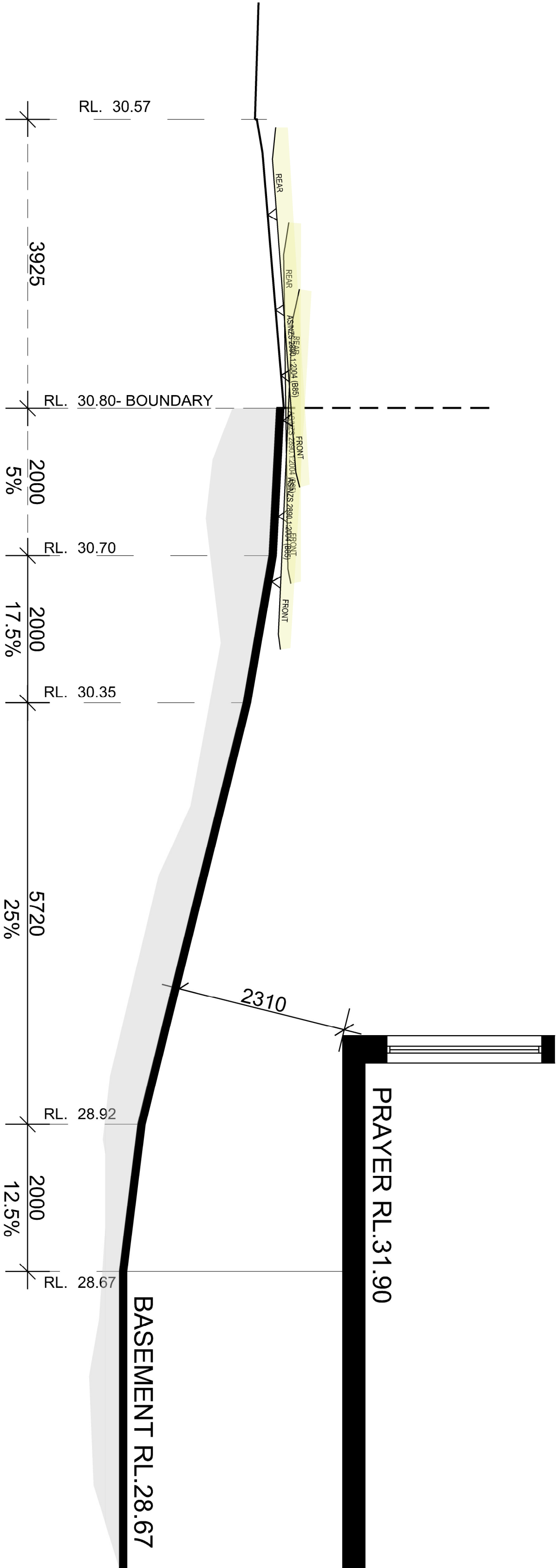
SECTION AA

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SECTION B-B

SCALE 1:50/100



DRIVEWAY GRADES

SCALE 1:50/100

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NOTE: 4  
SPACE REQUIREMENTS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E17 ROAD FREE AND  
SPACE ALONG SHALL COMPLY WITH AS 7884 AND BE CONNECTED TO THE MAIN PAVEMENT  
SURF.

A. DEVELOPMENT APPLICATION		DATE	INT.
ISSUE			
AMENDMENT			

TRUE NORTH
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Client	Address
HABIB, FAWAZ	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837
Project	Drawing title
PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	SECTIONS FINISHES SCHEDULE DRIVEWAY GRADES




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Nominated architect  
Diana Slavescu NSW RMA# 10706

 <p>Member RAA Australian Architects</p>	Drawn SD	Date FEB 2022	Sheet 04
	Check D.S	Job Number 1388	

F1 SEED PEARL - DULUX Main body color	F2 CEDAR ROOF SHINGLES roof tile	F3 FREE FORM STONE feature wall
F4 SOLID WOODEN DOOR garage door	F6 RAW IRON FENCE juleit balcony & pool fence	F7 MONUMENT COLORBOND powder coat doors and windows



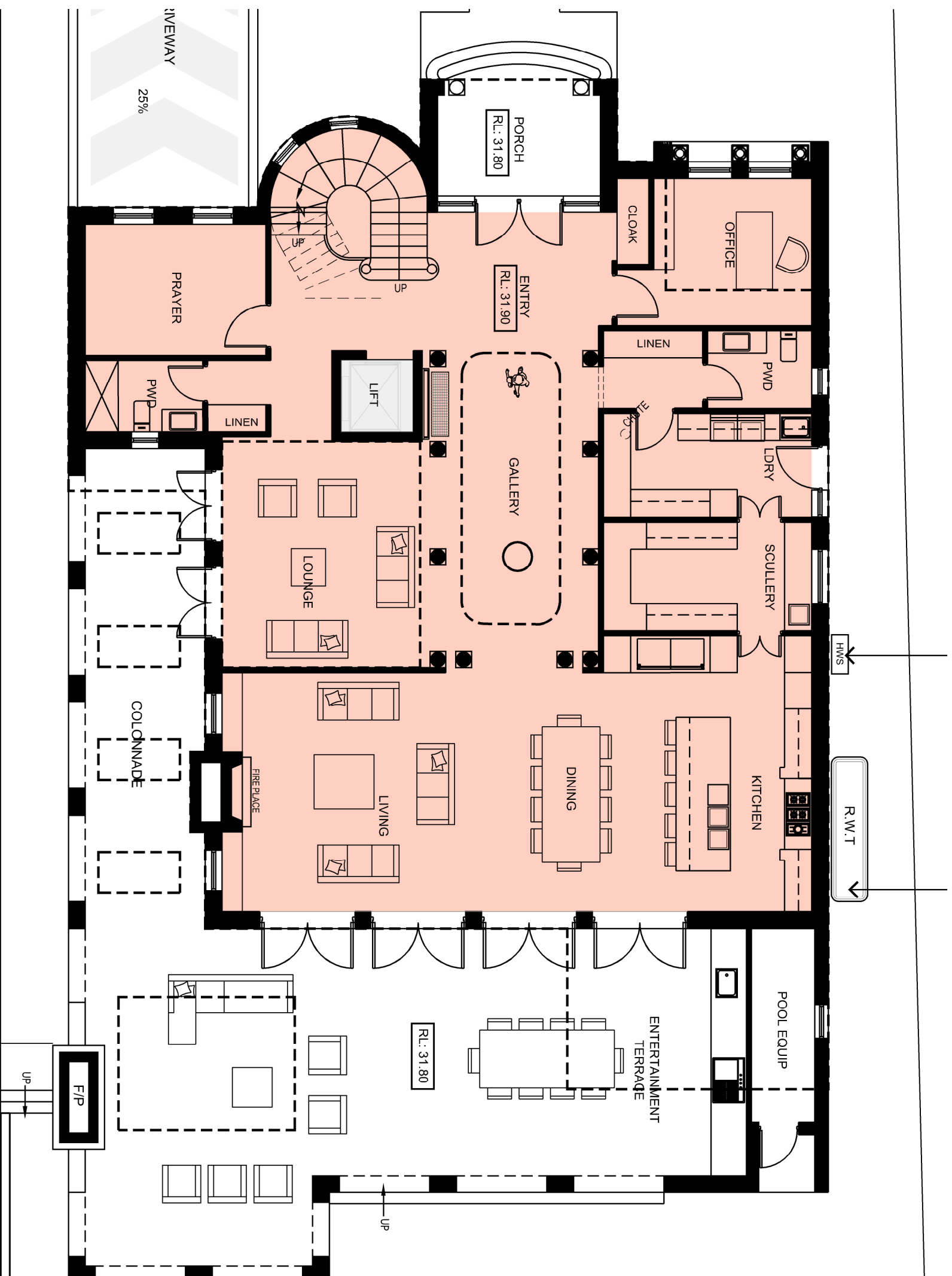
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NATIONAL  
HOUSE  
BUILDING  
SURVEY  
ACCREDITED

60.5  
MUM

0007122443 13 Mar 2022  
Assessor: Diana Alexandra Slavescu  
Accreditation No. HERA10113  
Address  
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, NSW, 2190

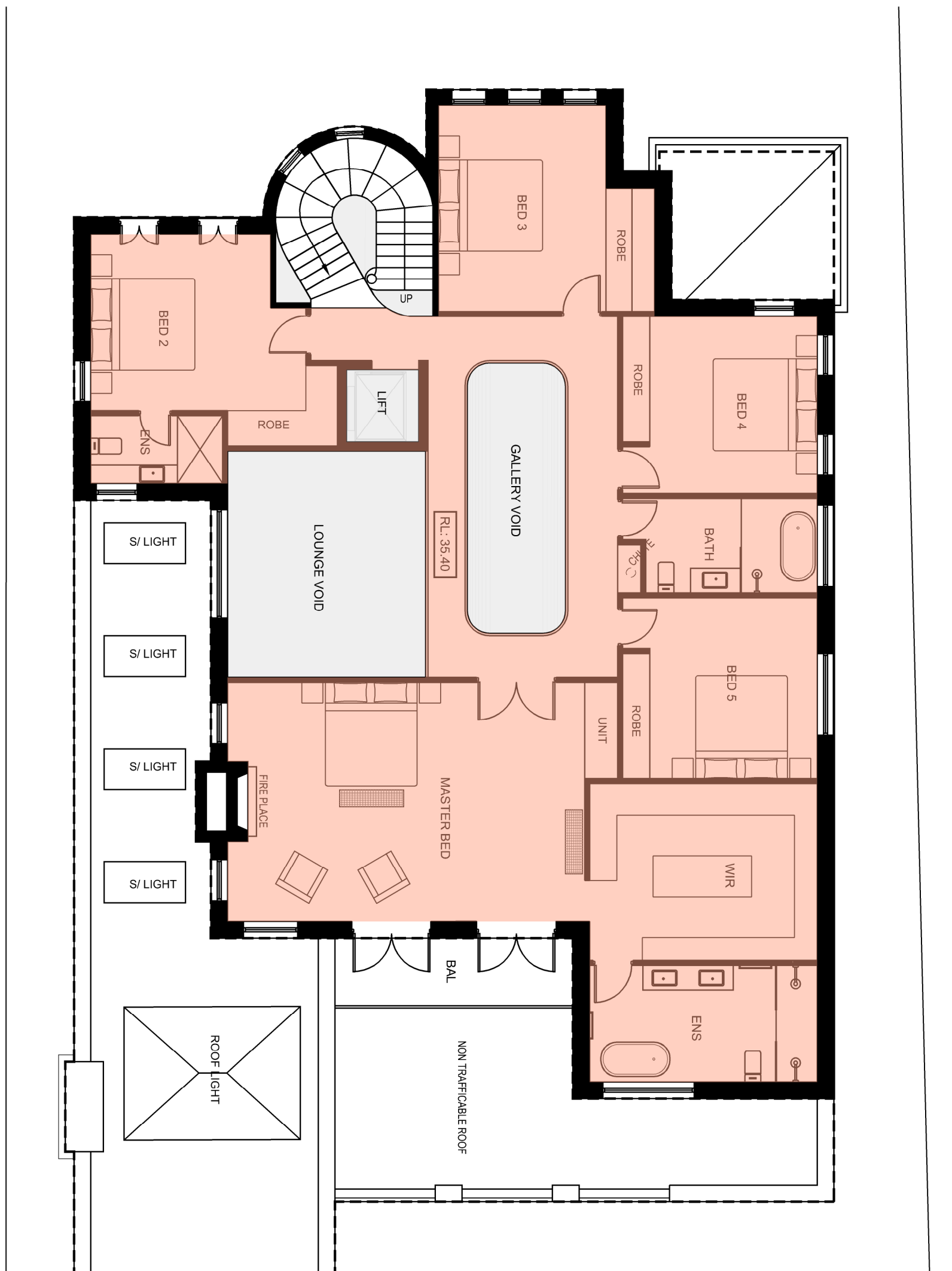
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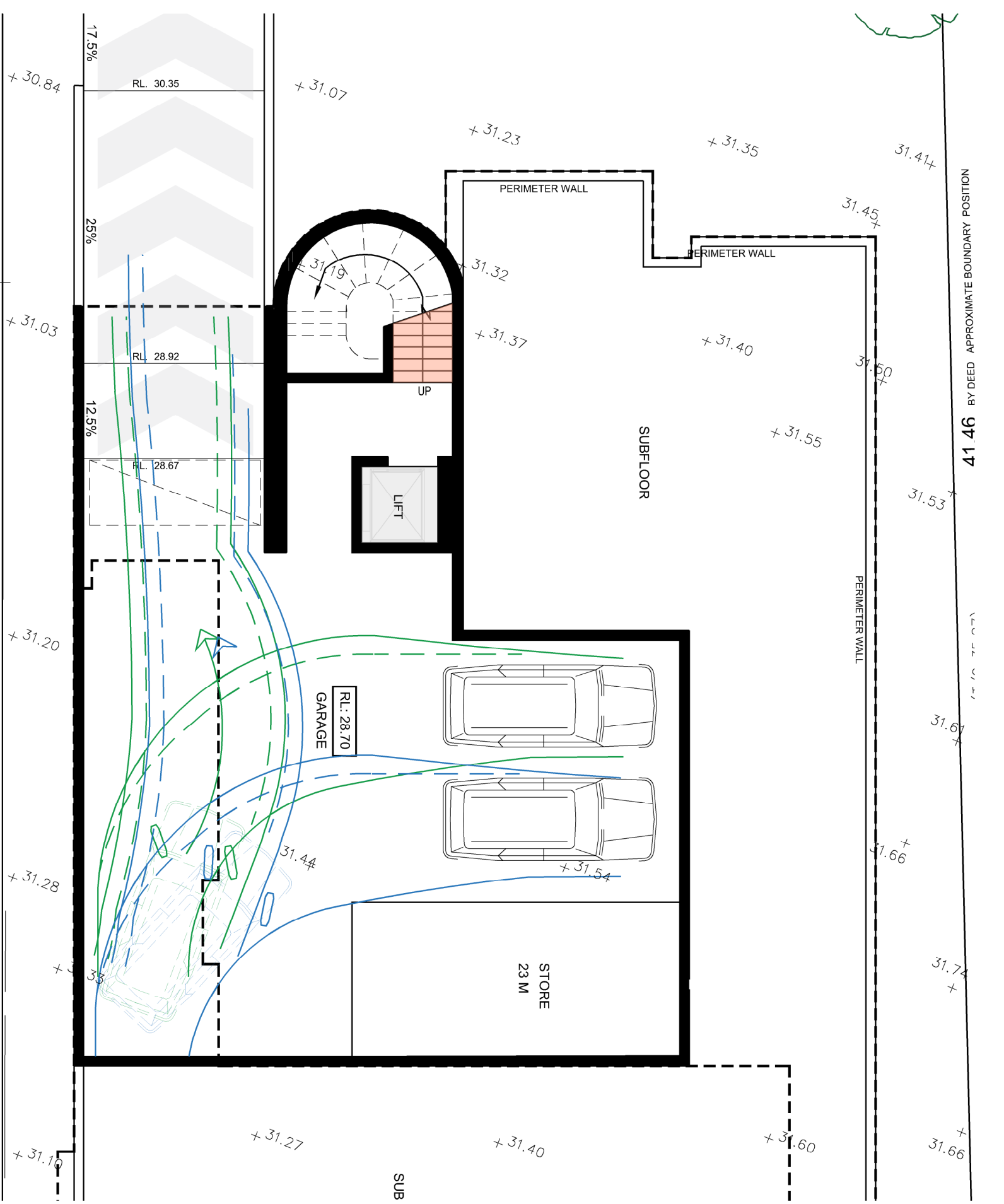


# GROUND FLOOR PLAN-FSR MAPS

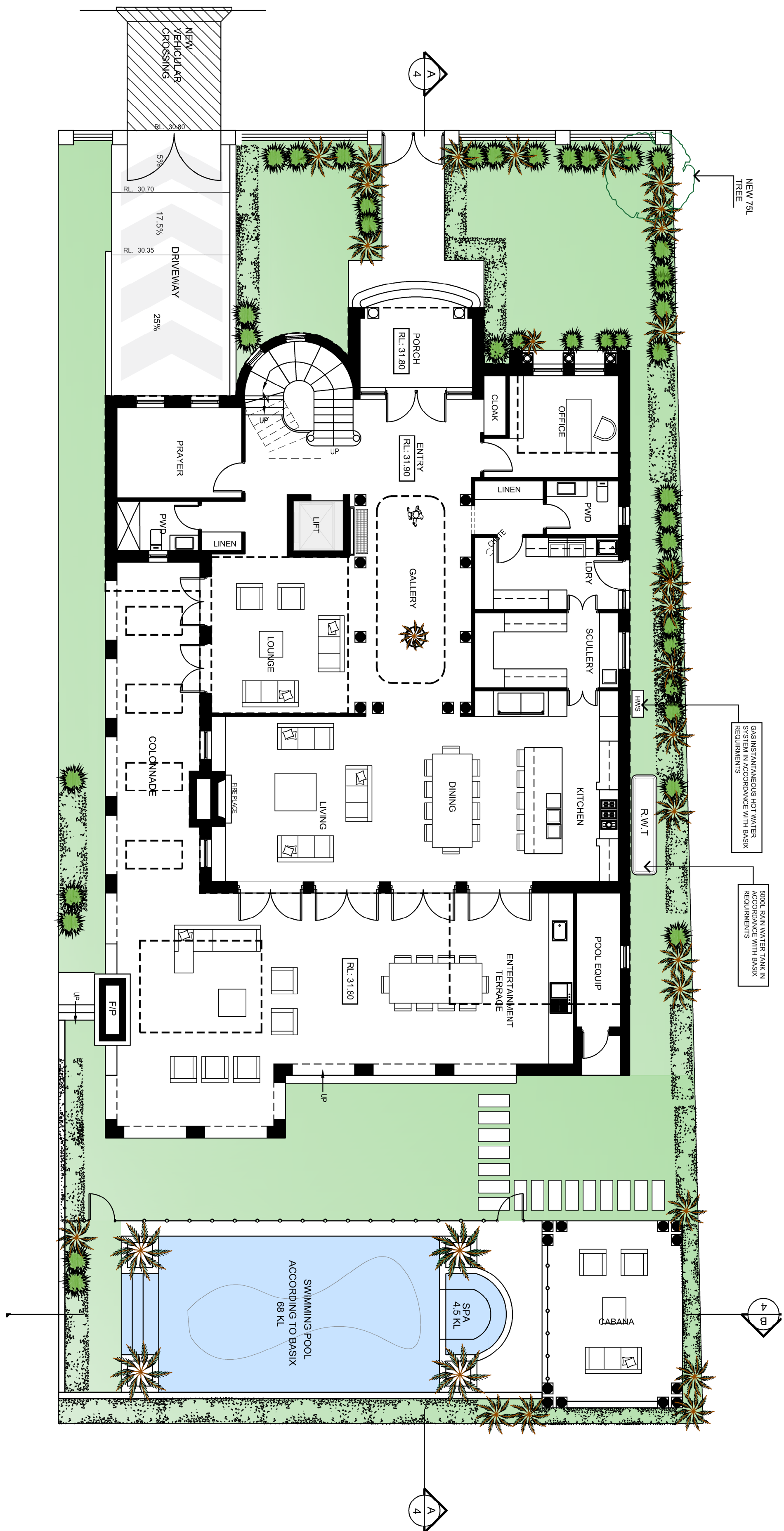
## SCALE 1:100/200



**FIRST FLOOR PLAN-FSR MAPS**  
**SCALE 1:100/200**



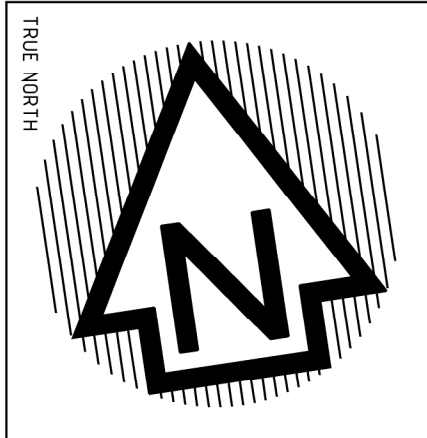
**BASEMENT FLOOR PLAN-FSR MAP**  
SCALE 1:100/200



**LANDSCAPE PLAN**  
**SCALE 1:100/200**


<p>(OPTIONAL) TO ONLY COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS &amp; LOCAL AUTHORITY REQUIREMENTS.</p> <p>BUILDING COMPLIANCE IS A LOCAL AUTHORITY'S RESPONSIBILITY TO CHECK A VARIETY OF BUILDING COMPLIANCE MATTERS, INCLUDING BUT NOT LIMITED TO: COMPLIANCE WITH AUSTRALIAN STANDARDS &amp; ASSOCIATED DOCUMENTS PRIOR TO INFRASTRUCTURE CONSTRUCTION &amp; INSTALLATION OR, NOT IN STATE OF WORK DRAWINGS, MATERIALS, WORK PRACTICES.</p> <p>VISION GROUP ARCHITECTS ACTS IN NO LIABILITY OR RESPONSIBILITY RELATING FROM BUILDERS NEGLECT OR PREPARED DRAWINGS OR CONSTRUCTION FOR ANY BUILDING DEFECTS. THE PROPERTY OF VISION GROUP ARCHITECTS' DRAWINGS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE ON ANY MEDIA WITHOUT THE WRITTEN PERMISSION OF VISION GROUP ARCHITECTS.</p>	<p>NOTE</p> <p>AT EXISTING &amp; OVERALL, DIMENSIONS ARE INTAKAL &amp; SUBJECT TO VARIATION ON SITE WHEN ANY DISCREPANCY OCCURS BETWEEN WORK MARK &amp; EXISTING BETWEEN NEW MARK &amp; EXISTING DIMENSIONS. EXISTING DIMENSIONS WORK SHOULD HAVE PREEMPTIVE WHERE NECESSARY - OTHERWISE BUILT WITH VISION GROUP ARCHITECTS</p> <p>NOTE</p> <p>SELECTED TREES PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS. B.C.A. AND IN ACCORDANCE AUSTRALIAN STANDARDS</p> <p>NOTE 5</p> <p>SHAKE DETECTORS TO COMPLY WITH REQUIREMENTS &amp; SPECIFICATION I-171 FROM FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3098 AND BE CONNECTED TO THE MAIN POWER SUPPLY</p>
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A	DA - DEVELOPMENT APPLICATION	FEB 2022
SSE	AMENDMENT	NT



Client	HABIB, FAWAZ	Address	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837
Project	PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	Drawing title	AREA MAPS

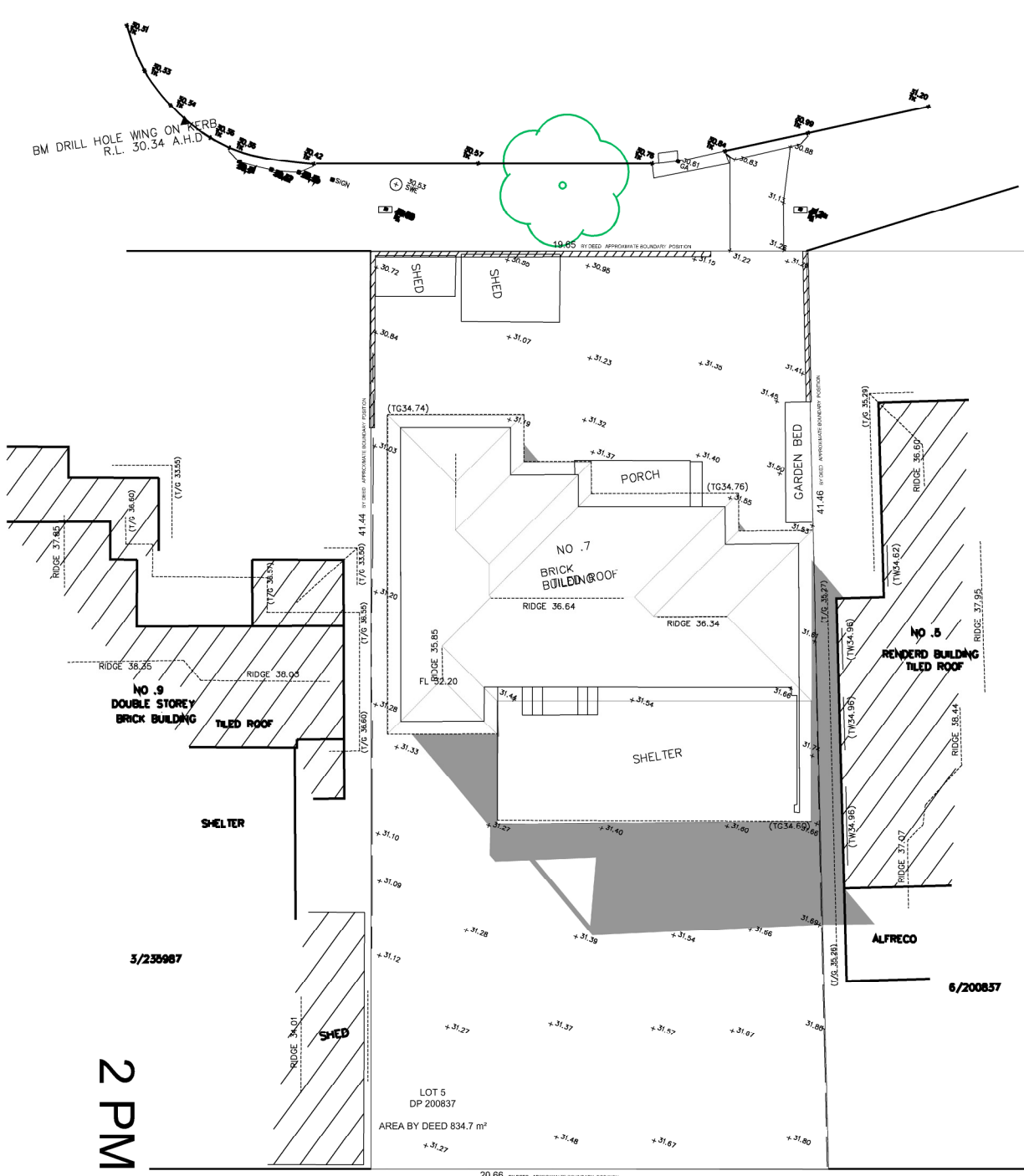
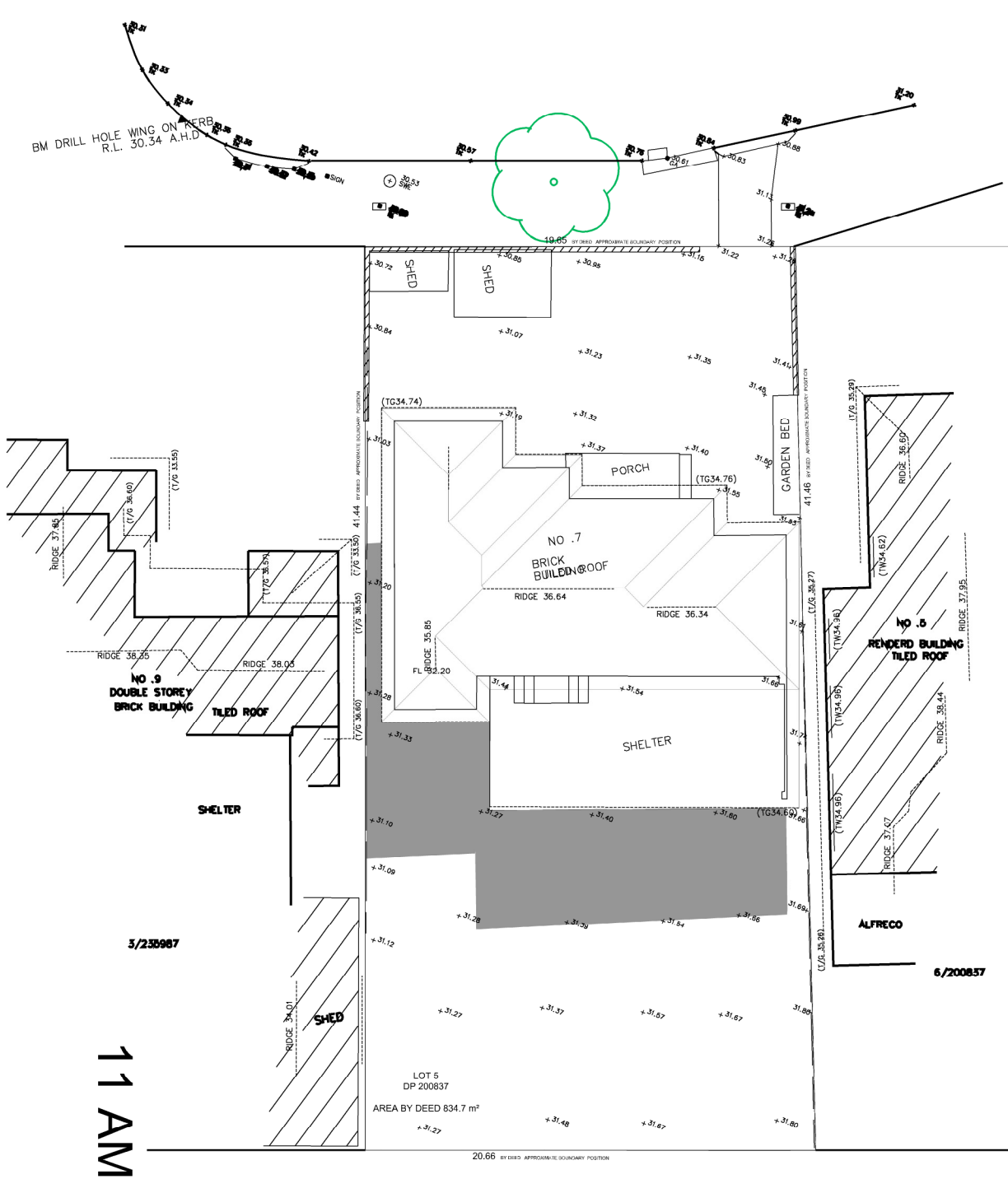
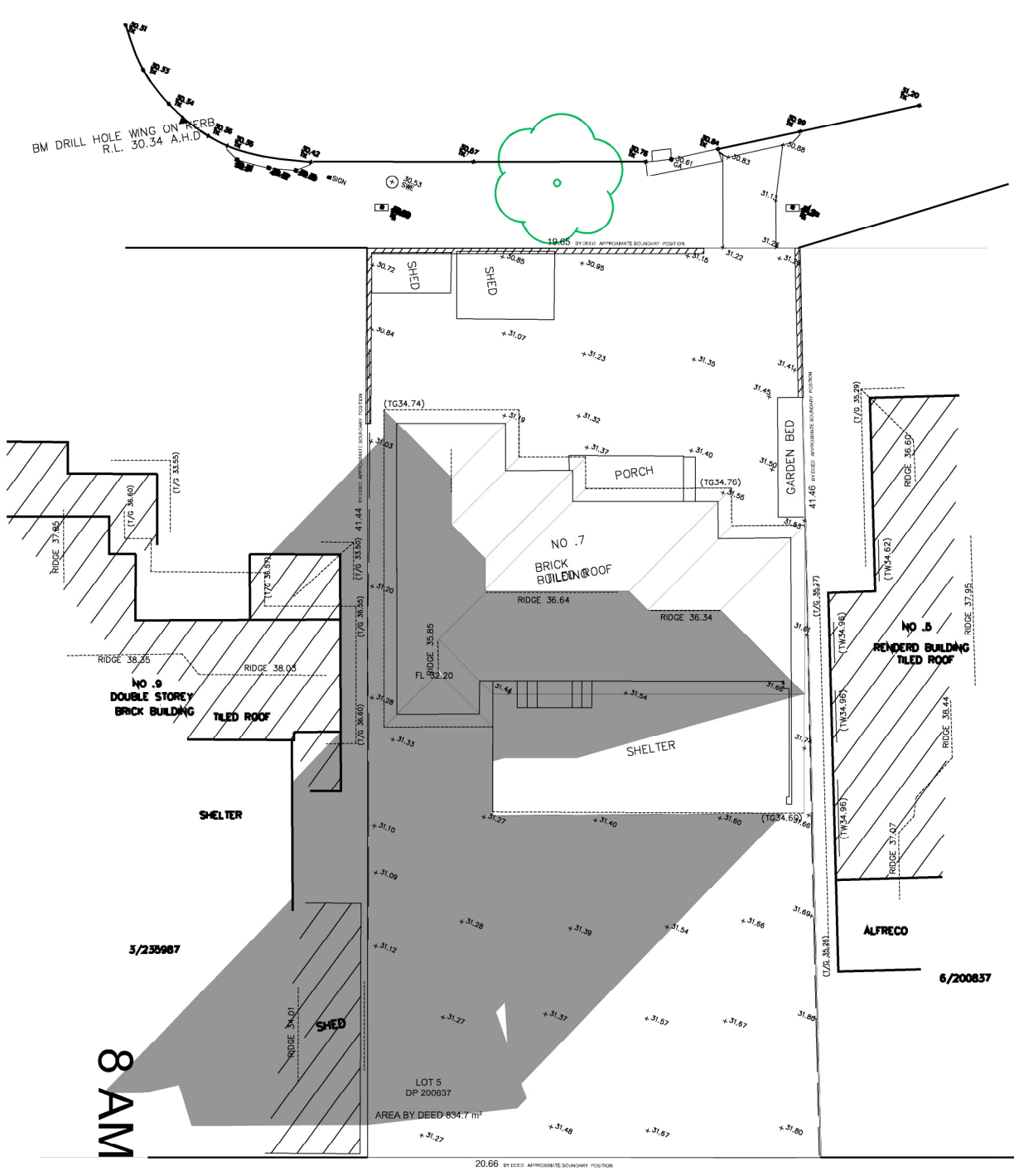

  
 Studio 2, level 1,  
 490 Hume Highway,  
 Stretfield South NSW 2136  
 Phone 9624 244  
 Fax 9624 248  
 Email  
 Stretfield South 2136  
 mail@visiongroup.com.au  
 www.visiongroup.com.au  
 Nominated architect  
 Diana Siveviciu NSW RNI 10766

		Scale 1:100 1:200	A1 A3
<b>Member</b> <b>Australian</b> <b>Institute of</b> <b>Architects</b>		Issue	
Drawn SD		Date FEB 2022	Sheet  <b>A</b>
Check DS		Job Number 1388	
			<b>05</b>

KEY PROPOSAL STATISTICS - NEW DWELLING HOME	
<p><b>SITE AREA:</b></p> <p><b>FRONTAGE:</b></p> <p><b>NUMBER OF DWELLINGS:</b></p>	<p>835.25m<sup>2</sup></p> <p>19.65m</p> <p>1</p>
<p><b>*ALLOWABLE FSR</b></p> <p>4.4C. Exceptions to floor space ratio (Zone R2)</p> <p>Lot area (m<sup>2</sup>) Floor space ratio</p> <p>&gt; 728.3m<sup>2</sup> 0.50:1</p> <p>Maximum FSR = 417.62m<sup>2</sup></p>	
<p><b>*GROSS FLOOR AREA PROPOSED</b></p> <p><b>BASEMENT LEVEL</b></p> <p><b>GROUND FLOOR AREA:</b></p> <p><b>FIRST FLOOR AREA:</b></p>	<p>1.8m<sup>2</sup></p> <p>220.5m<sup>2</sup></p> <p>193.0m<sup>2</sup></p>
<p><b>PROPOSED FSR :</b></p> <p><i>Excludes stairs, lifts and parking</i></p>	<p>415.3m<sup>2</sup> (0.497:1)</p>
<p><b>LANDSCAPING FRONT SETBACK REQUIRED PROPOSED</b></p>	<p>45% (83.5m<sup>2</sup>)</p> <p>61.5% (86.50m<sup>2</sup>)</p>
<p><b>PRIVATE OPEN SPACE REQUIRED PROPOSED</b></p>	<p>80m<sup>2</sup></p> <p>326.23m<sup>2</sup></p>
<p>gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, after deducting:</p> <ul style="list-style-type: none"> <li>(a) the area of a mezzanine, and</li> <li>(b) habitable rooms in a basement or an attic, and</li> <li>(c) any stoop, auditorium, cinema, and the like, in a basement or attic, but excludes:</li> <li>(d) any area for common vertical circulation, such as lifts and stairs, and</li> <li>(e) any basement;</li> <li>(f) storage; and</li> <li>(g) vehicular access, loading areas, garbage and services, and</li> <li>(h) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and</li> <li>(i) car parking to meet any requirements of the consent authority (including access to that car parking), and</li> <li>(j) any space used for the loading or unloading of goods (including access to it), and</li> <li>(k) terraces and balconies with outer walls less than 1.4 metres high, and</li> <li>(l) voids above a floor at the level of a storey or storey above.</li> </ul>	



Scale	NIS
Issue	A
Drawn	SD
Date	FEB 2022
Check	DS
Job Number	1388
Sheet	06



EXISTING SHADOW DIAGRAM - WINTER - 22ND JUNE

## SCALE NTS

10 AM

9 AM

8 AM

1 PM

12 PM


11 AM


4 PM

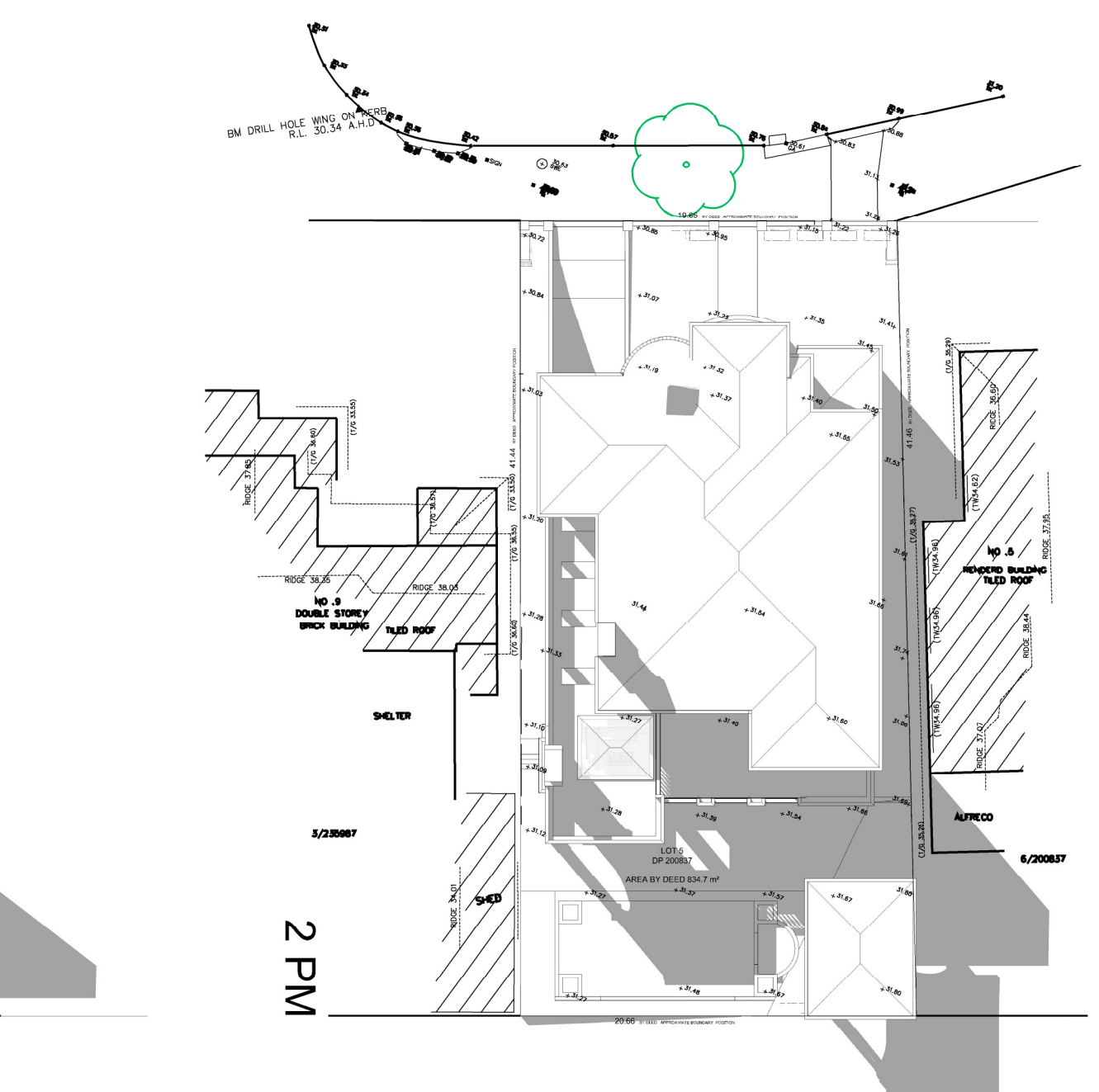
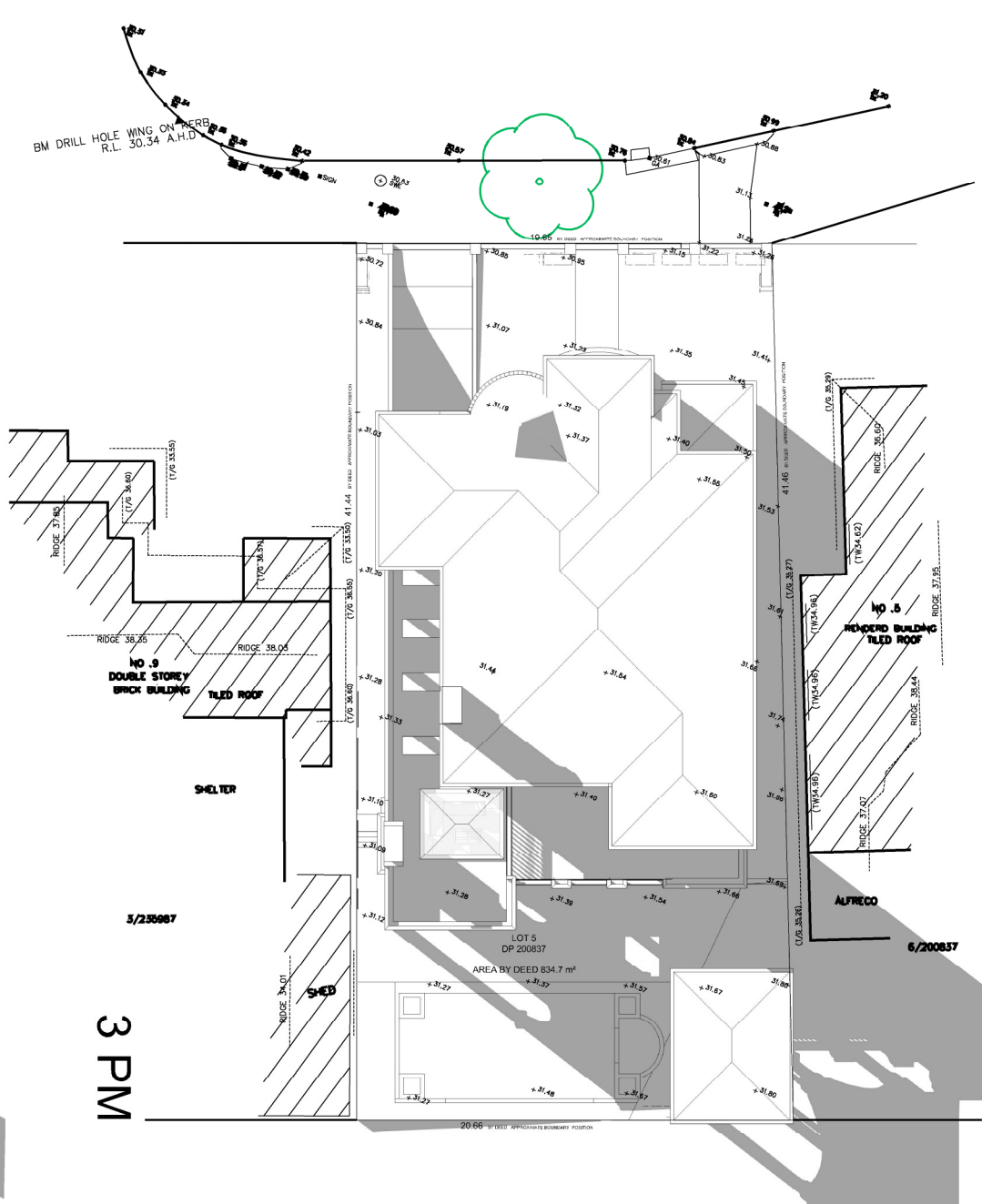
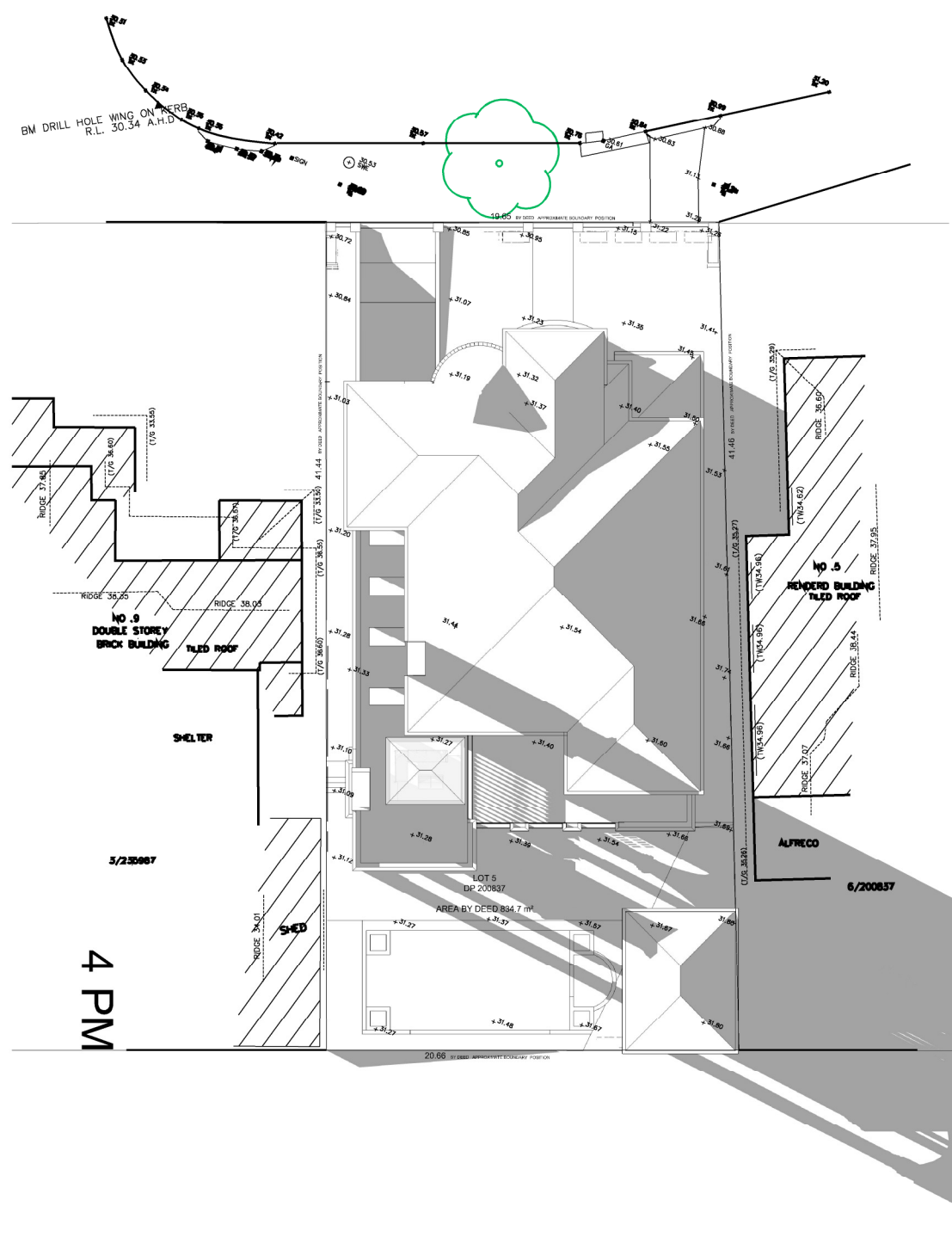
3 PM

2 PM

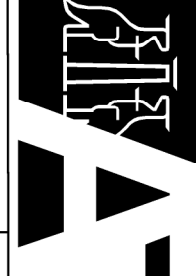


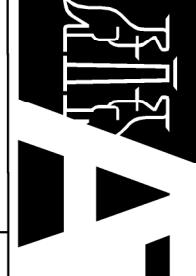
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Issue	A
Drawn	
SD	Date FEB 2022
Check DS	Job Number 1388
Sheet	07

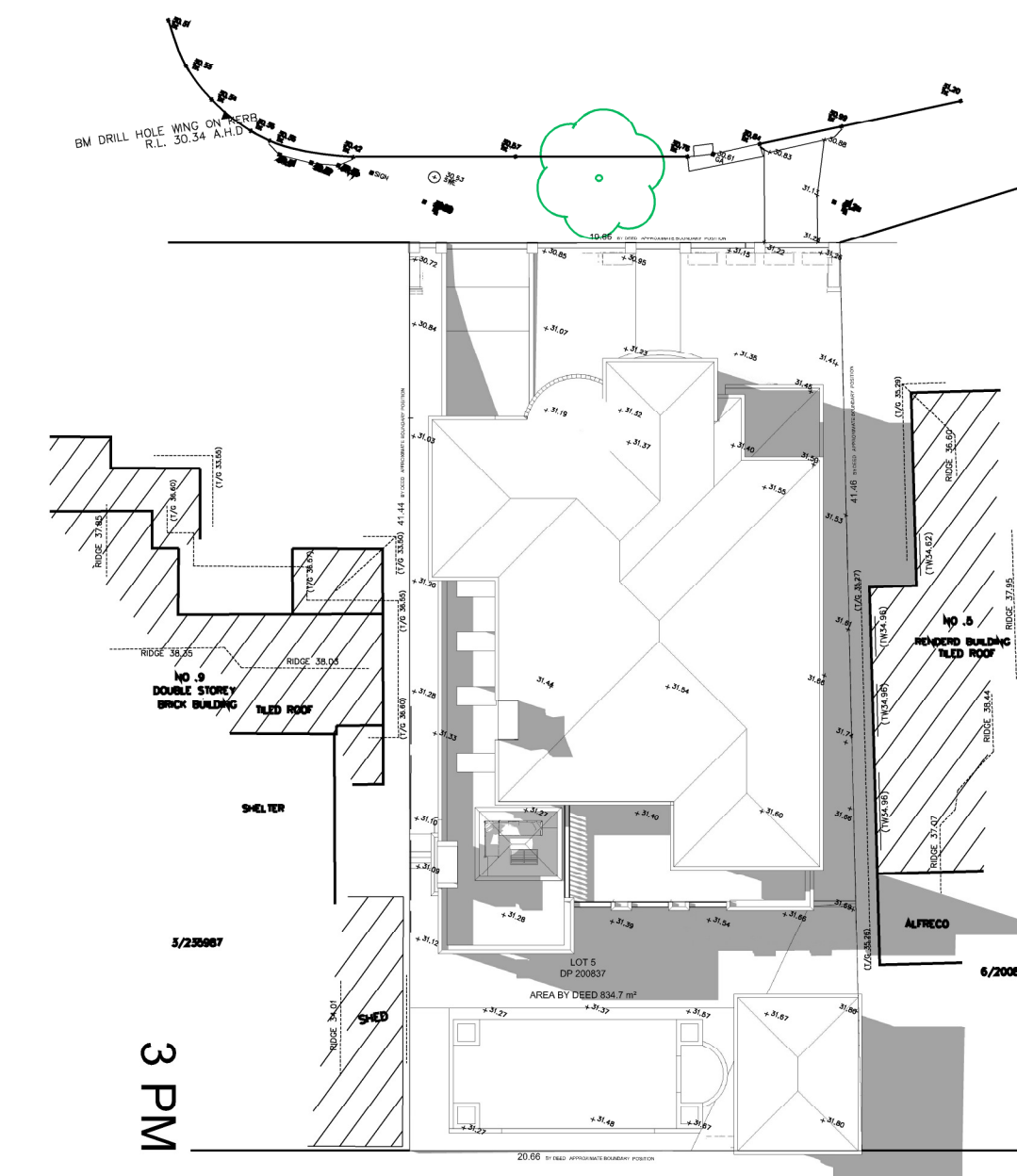
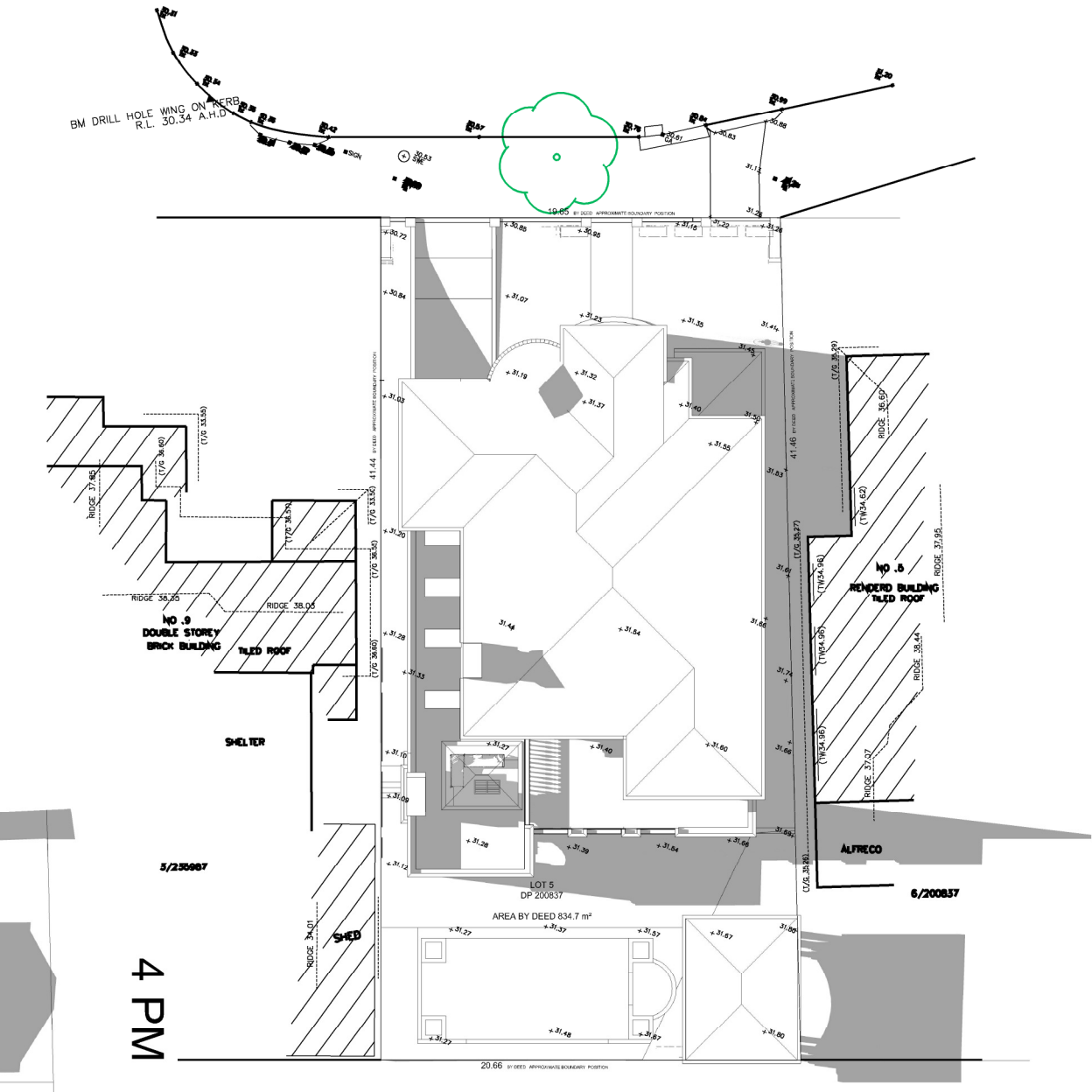
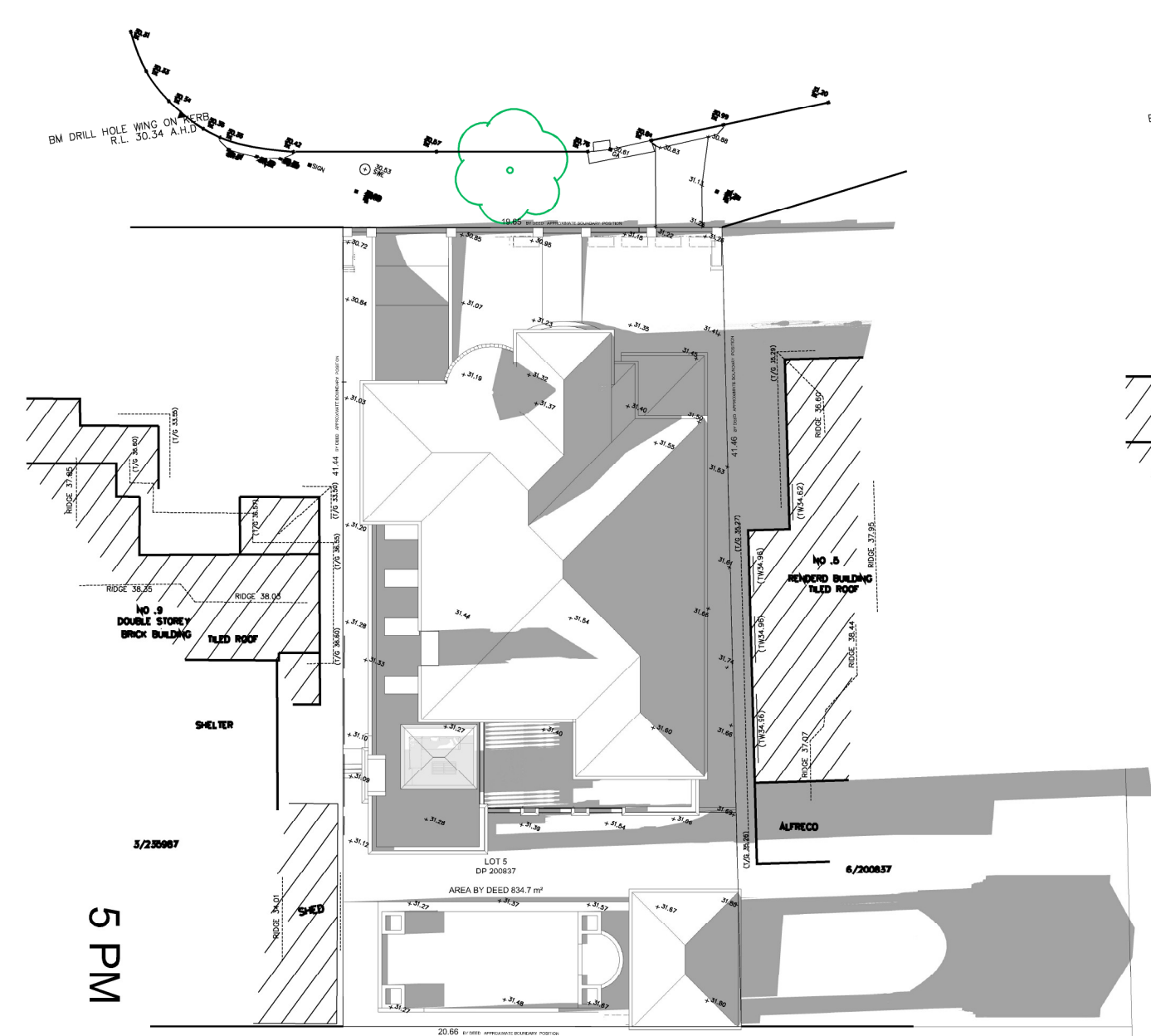
Scale	NIS
Issue	A
Drawn	
SD	Date FEB 2022
Check DS	Job Number 1388
Sheet	07





Scale NTS	Issue	 <b>Member</b> <b>Australian</b> <b>Institute of</b> <b>Architects</b>	Drawn	SD	Check D.S
	A		Date	FEB 2022	Job Number 1388
		Sheet	08		

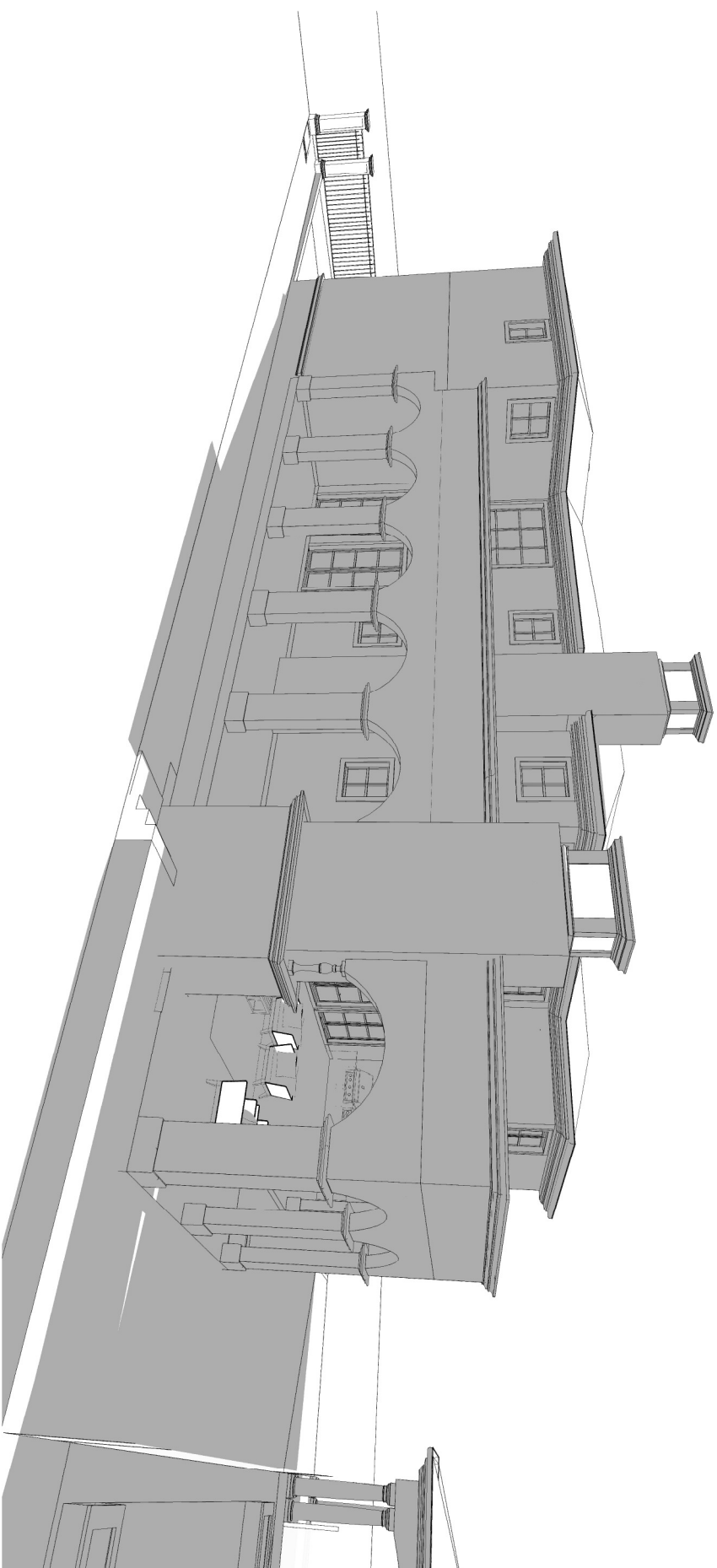
Scale NTS	Issue	 <b>Member</b> <b>Australian</b> <b>Institute of</b> <b>Architects</b>	Drawn	SD	Check D.S
	A		Date	FEB 2022	Job Number 1388
		Sheet	08		







8 AM



11 AM



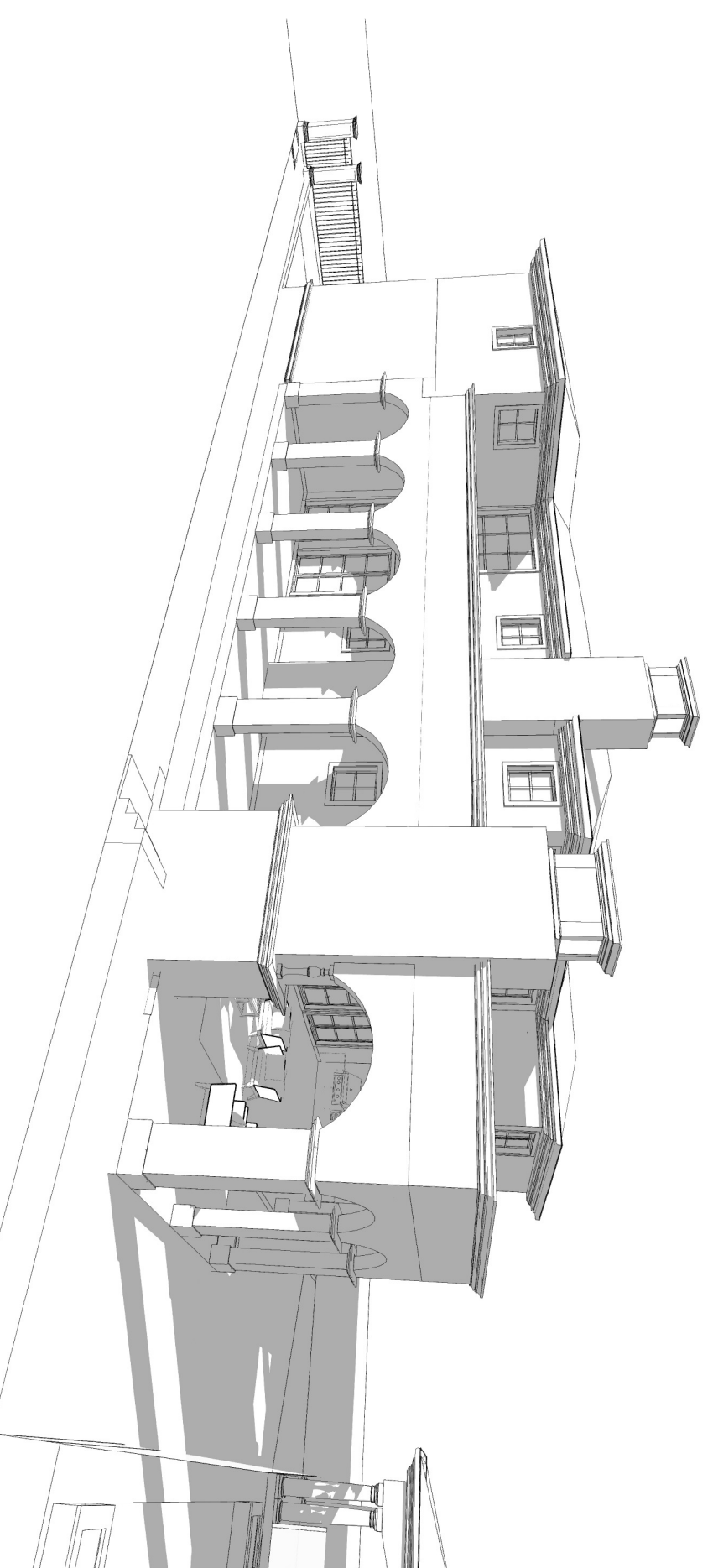
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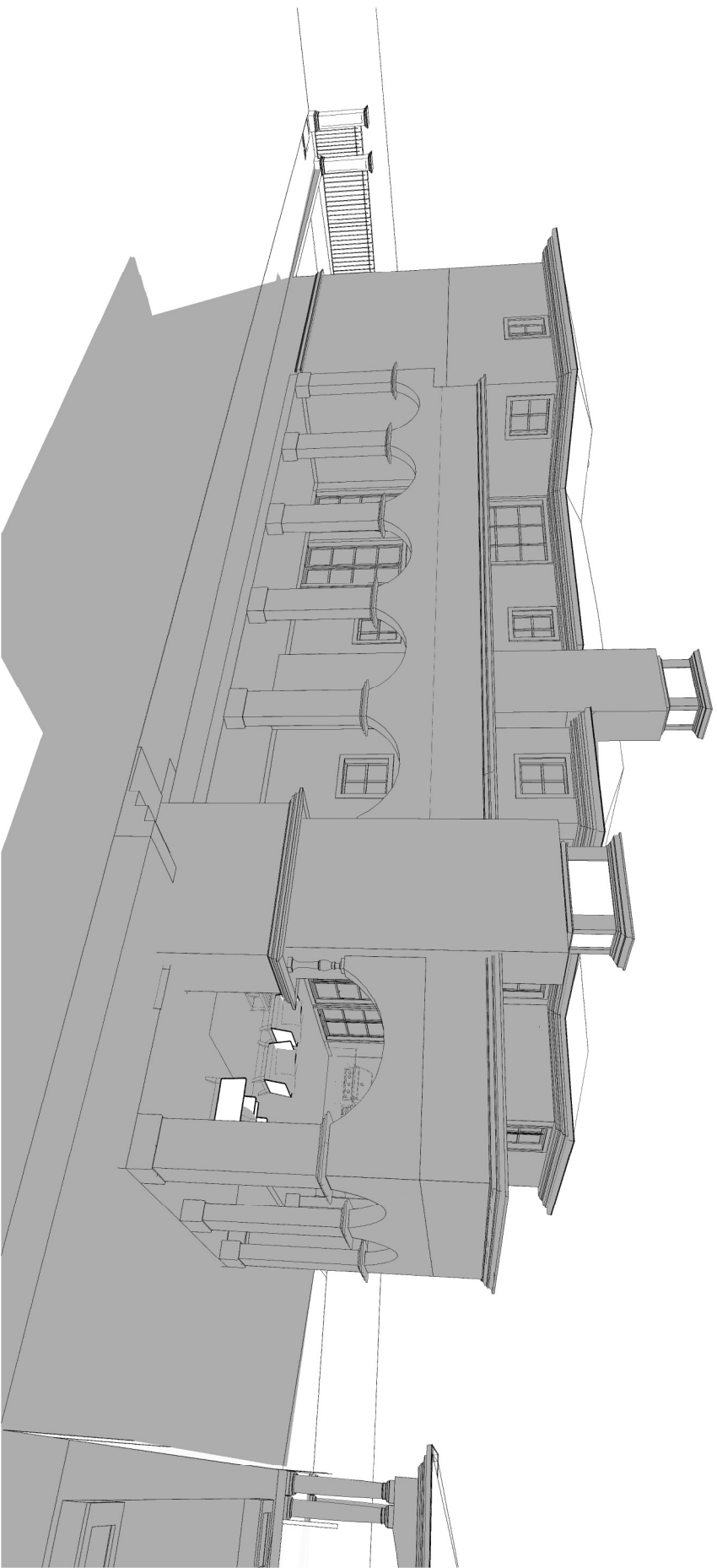
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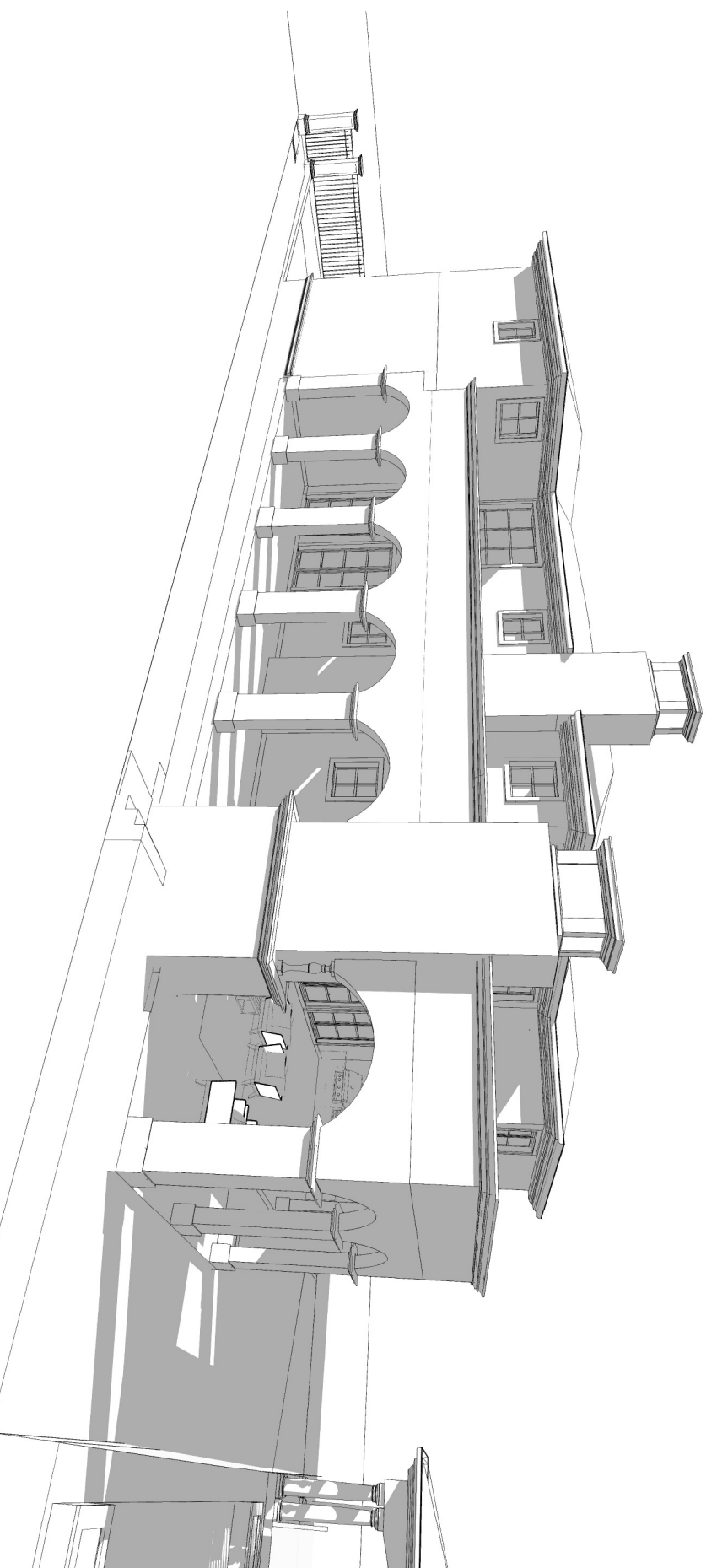
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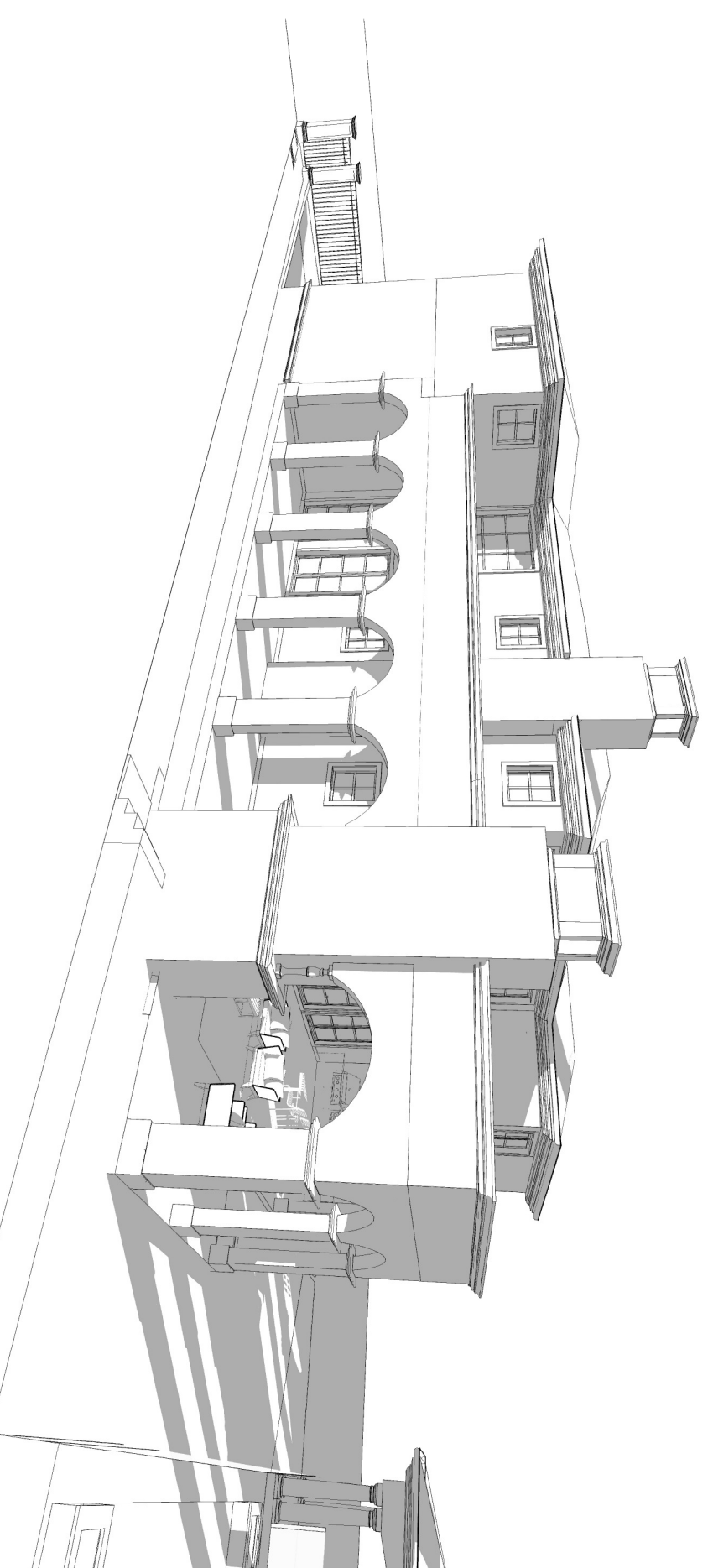
3 PM



10 AM



1 PM



4 PM

PROPOSED ELEVATION SHADOW DIAGRAM - WINTER - 22ND JUNE  
SCALE NTS

SCALE NTS

<p>OPTION ①</p> <p>IT WOULD BE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS &amp; LOCAL AUTHORITY REQUIREMENTS.</p> <p>BUILDING CONSTRUCTION &amp; ALL RELEVANT SANS PROCEEDS TO CHECK A VARIETY OF STANDARDS &amp; ASSOCIATED BRANDS PARTS PRIOR TO MANUFACTURE, CONSTRUCTION &amp; INSTALLATION ON SITE. DO NOT SCALE OFF BRANDS. MORTENSONS HAVE REQUIREMENT</p> <p>VISION GROUP ARCHITECTS ACCEPTS NO LIABILITY OF RESPONSIBILITY RESULTING FROM BUILDERS SELECTED OR PREPARED METHOD OF CONSTRUCTION FOR ANY BUILDING DEFECTS. BRANDS ARE NOT THE PROPERTY OF VISION GROUP ARCHITECTS. BRANDS ARE NOT TO BE REPRODUCED IN PART OR IN WHOLE IN ANY MEDIA WITHOUT THE WRITTEN PERMISSION OF VISION GROUP ARCHITECTS</p>	<p>NOTE</p> <p>ALL EXISTING &amp; OVERALL DIMENSIONS ARE NORMAL &amp; SUBJECT TO VERIFICATION ON SITE WHEN ANY DISCREPANCY OCCURS BETWEEN WORK &amp; EXISTING IN NEW WORK &amp; EXISTING DIMENSIONS - EXISTING DIMENSIONS NEW WORK SHOULD TAKE PRECEDENCE WHERE NECESSARY - OTHERWISE NOTIFY VISION GROUP ARCHITECTS</p> <p>NOTE</p> <p>SELECTED TYPICAL PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL ACCORDANCE WITH LOCAL SANS REQUIREMENTS. B.C. AND ALL RELEVANT AUSTRALIAN STANDARDS</p> <p>NOTE ⑤</p> <p>SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E17 NEWSM BUREAU AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY</p>
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NONE

ALL EXISTING A DOWEL, DIVISIONS ARE NORMAL & SUBJECT TO REGISTRATION ON SITE

HAVING AN INSUFFICIENT EVIDENCE BETWEEN NEW WORK & EXISTING BUILT-UP NEW WORK &

EXISTING FOUNDATION - EXISTING FOUNDATIONS WERE NOT THERE PREVIOUSLY WHERE

NECESSARY - CONCRETE MOUNTAIN GROUP ARCHITECTS

NONE

SUBJECT TO BEING PROTECTED TO BE USED ON SITE IN ACCORDANCE WITH LOCAL ACCORDANTS

WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS.

NONE [X]

SPACE DETECTORS TO CHECK WITH REQUIREMENTS OF SPECIFICATION ITEM PERM AND

SPACE ALARMS SHALL COMPLY WITH AS 5840 AND BE CONNECTED TO THE MAIN POWER SUPPLY

	A	D.A.-DEVELOPMENT APPLICATION	FEB-2022	D.S.
		SUBJECT AWARDMENT	DATE	NIT

Client	HABIB, FAWAZ	Address	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837
Project	PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	Drawn Title	PROPOSED ELEVATION SHADOW DIAGRAM - WINTER 22 JUNE

**VISION GROUP**

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[info@visionhick.com.au](mailto:info@visionhick.com.au)  
[www.visionhick.com.au](http://www.visionhick.com.au)

Nominated architect  
Drama Theatre NSW RNH 10766

Scale	NIS
Issue	A
Drawn	SD
Date	FEB 2022
Sheet	09
Check	DS
Job Number	1388